



# Title X: Middle Housing Toolkit of Objective Design + Development Standards (ODDS) | Puget Sound Region

---

Administrative Draft - May 3, 2023

## Using This Toolkit

This Middle Housing ODDS Toolkit consists of a base set of standards and an optional set of standards. If the base set of standards suits your needs, only steps 1, 3 and 4 apply.

If you would like any of the content offered in the Optional standards, all steps apply.

### 1 Step 1: Select Your Overlay Zone(s)

- See [pages 6 and 7](#) to identify the Placetype(s) where you want to implement Middle Housing.
- On the bottom of [pages 6 and 7](#) for the Placetypes that you select, see the recommended overlay zone(s) to select from Chapter 2 of the Toolkit.
- After selecting your overlay zone(s), discard the unselected overlay zones.

### 2 Step 2: Select Any Optional Content

- See [page iii to review and compare Optional Standards to Base Standards to determine if you want any Optional content.](#)
- If selecting any Optional content, identify selected content to add to or replace Base Standards.

### 3 Step 3: Assemble Your ODDS

- Open electronic file to move selected Optional Content to Base Standards.
- Assemble Base Content to be retained with selected Optional Content.
- Edit the text and/or numerical standards as needed for your city.

### 4 Step 4: Apply and Use Your ODDS

- On a new or existing city map, identify the parcels where the overlay zone(s) will apply.
- Apply the ODDS to the proposed projects where the overlay zone(s) have been mapped.
- For processing and review of Middle Housing applications, see Code Review Guide in Chapter #E1.

## Toolkit Summary of Objective Design Standards

The table below identifies the chapters provided in the base standards, the available optional standards, and key differences between the two.

Base Standards	Optional Standards	Notes About Optional Content
Ch. 1 Introduction and Applicability	None	
Ch. 2 Overlay Zones and Standards	Ch. 2 Overlay Zones and Standards (if selected, replaces Base Chapter 2)	<i>Provides more flexible setback standards, and detailed standards for building and massing types. Each overlay zone allows a subset of 8 Middle Housing types. The base version regulates only by maximum footprint and height.</i>
Ch. 3 Site Development Standards	Ch. 3 Site Development Standards (if selected, replaces Base Chapter 3)	<i>Provides detailed standards for fences/walls, landscaping and lighting, on-site parking, and sloped lots.</i>
	Ch. 4 Building Types	<i>Provides a spectrum of 8 Middle Housing building types and 9 massing types with standards appropriately tailored for each type, as compared to the base standards that regulate lot coverage and do not use building types.</i>
#A1. Frontage Types	#A2. Frontage Types (if selected, replaces Base Chapter #A1)	<i>Provides 2 additional frontage types and more detailed standards.</i>
	#B. Architectural Standards	<i>Provides standards for regulating architectural details, not style (i.e., facade composition, bays, materials, and window details).</i>
	#C. Large Site Standards	<i>Provides design standards for parcels at least 5 acres in size.</i>
	#D. Streetscapes and Public Open Spaces	<i>Provides thoroughfare and public open space standards to be used on sites 5 acres or larger.</i>
#E1. Administration	#E2. Administration (if selected, replaces Base Chapter #E1)	<i>Additional allowed adjustments to support optional content.</i>
#F1. Definitions and Measurements	#F2. Definitions and Measurements (if selected, replaces Base Chapter #F1)	<i>Additional definitions and measurement methods to support optional content.</i>

# = Chapter to be numbered after City determines which, if any, Optional chapters are to be added to the Base content.

# Table of Contents

---

<b>Chapter 1:</b>	<b>Introduction</b>	<b>7</b>
1.010	Purpose	7
1.020	Relationship to <a href="#">City</a> Comprehensive Plan	7
1.030	Relationship to <a href="#">City</a> Zoning Code	7
1.040	Relationship to The Puget Sound Placetype Atlas	7
1.050	Overview of Overlay Zones	10
<b>Chapter 2:</b>	<b>Overlay Zones and Standards</b>	<b>13</b>
2.010	Purpose	13
2.020	General Requirements	13
2.030	Neighborhood Residential Overlay.Small (NRO.S1)	15
2.040	Neighborhood Residential Overlay.Small (NRO.S2)	19
2.050	Neighborhood Residential Overlay.Medium 1 (NRO.M1)	23
2.060	Neighborhood Residential Overlay.Medium 2 (NRO.M2)	27
2.070	Multiple Buildings on a Site	30
2.080	Roof Pitch and Dormer Windows	31
<b>Chapter 3:</b>	<b>Site Design Standards</b>	<b>33</b>
3.010	Purpose	33
3.020	Screening	33
3.030	Landscaping and Lighting	35
3.040	Parking and Loading	36
3.050	Slope Standards	40
<b>Chapter #A1:</b>	<b>Frontage Types</b>	<b>43</b>
#A1.010	Purpose	43
#A1.020	Frontage Types	43
#A1.030	Frontage Type Standards	45

<b>Chapter #E: Administration</b>	<b>47</b>
#E.010 Purpose	47
#E.020 Administrative Review	47
#E.030 Adjustments to Standards	50
<b>Chapter #F1: Definitions</b>	<b>57</b>
#F1.010 Purpose	57
#F1.020 Definitions	57
#F1.030 Measurement Methods	66

*This page intentionally left blank*

# Chapter 1: Introduction

---

## Sections:

- 1.010 Purpose
- 1.020 Relationship to [City](#) Comprehensive Plan
- 1.030 Relationship to [City](#) Zoning Code
- 1.040 Relationship to The Puget Sound Placetype Atlas
- 1.050 Overview of Overlay Zones

---

## 1.010 Purpose

This set of Middle housing development and design standards sets forth the standards for neighborhood design, building form, and uses within neighborhoods where Middle housing is intended. These standards enable infill housing production, through Middle housing development that reinforces the highly valued character and scale of [City's](#) centers, neighborhoods, and corridors.

---

## 1.020 Relationship to [City](#) Comprehensive Plan

These standards implement [City's](#) [Comprehensive Plan](#) vision through a palette of overlay zones. These standards are applied neighborhoods where Middle housing is intended

---

## 1.030 Relationship to [City](#) Zoning Code

This applies to all Middle housing projects and supersedes existing zone standards unless stated otherwise.

---

## 1.040 Relationship to The Puget Sound Placetype Atlas

The Placetype Atlas was prepared to identify and describe the range of physical environments in the Puget Sound region where Middle Housing (MH) exists or could be introduced. The intent of the documentation of these physical environments is to inform the implementation of Middle Housing in this range of locations. The Placetype atlas contains recommended zones for each Placetype and should be reviewed in the further customization of these development standards to [City](#).

# Select the Design and Development Standards that Best Fit your Needs

This Toolkit of objective design and development standards contains the range of development and design standards necessary to implement Middle Housing in the Puget Sound region. This range of standards is based a variety of Placetypes identified across 10 example cities in the region. The standards are coordinated by city size: Small, Medium, or Large. See the example cities on this page to determine which category best fits your city. Depending on which Placetype(s) you already have or want to introduce in your community, see the recommended Toolkit zone(s).

- Select the Placetype that is most like the area where you are going to allow Middle housing.
- Identify the Toolkit zone(s) recommended for your selected Placetype.
- Review the overview of the Toolkit zone(s): height, Middle housing types, building footprint, building setback
- Select the Toolkit zones to keep in your Base standards.
- Select Optional standards, if any, to add to your Base standards.

Example Cities Organized by Size		
	City	County
Large	Renton	King
	Tacoma	Pierce
	Everett	Snohomish
Medium	Burien	King
	Bothell	Snohomish/King
	Mountlake Terrace	Snohomish
Small	Newcastle	King
	Enumclaw	King
	Edgewood	Pierce
	Snohomish	Snohomish

Range of Puget Sound Placetypes				
Adjacent to some type of node				
	City Center-Adjacent	Main Street-Adjacent Neighborhood	Corridor-Adjacent Neighborhood	
Existing Characteristics	Building Pattern	Mostly attached	Mostly attached, some detached	Mostly attached, some detached
	Building Scale	Mostly block scale	Mostly block-scale, some medium house-scale	Mostly medium house-scale, and some small house scale
	Building Height	Mostly 4 stories	2 to 4 stories, mostly 3 <sup>1</sup>	2 to 3 stories
	Transit Situation	Transit rich	Transit rich	Transit rich
	Uses	Mix of Uses	Mix of Uses	Mix of Uses
Recommended Toolkit Zones (Design and Development Standards)				
City Size	Large City	NRO.M2	NRO.M1 or NRO.M2	NRO.M1
	Medium City		NRO.M1 or NRO.M2	NRO.S2 or NRO.M
	Small City		NRO.M1	NRO.S2 or NRO.M

<sup>1</sup> This Toolkit does not provide standards for buildings taller than 3 stories.

Neighborhood Node-Adjacent	Mixed neighborhood types			Detached housing, low-intensity neighborhoods	
	Mixed Neighborhood Small Footprint	Mixed Neighborhood Medium Footprint	Mixed Neighborhood Large Footprint	Small-Lot Detached Neighborhood	Large-Lot Detached Neighborhood
					
Mostly attached, some attached	Detached	Detached	Mostly attached, some detached	Detached	Detached
Mostly medium house-scale	Small house scale	Medium house-scale	Mostly block-scale, some medium house-scale	Small house scale	Medium house-scale
2 to 3 stories	2 to 3 stories	2 to 3 stories	2 to 4 stories, mostly 3 <sup>1</sup>	2 stories	2 stories
Transit supportive	Transit supportive	Transit supportive	Transit rich	Transit supportive	Limited transit
Mostly Res'l	Mostly Res'l	Mostly Res'l	Mix of Uses	Mostly Res'l	Mostly Res'l
NRO.M1	NRO.S2 or NRO.M1	NRO.M1	NRO.M1 or NRO.M2	NRO.S1	NRO.S1
NRO.M1	NRO.S2 or NRO.M1	NRO.M1	NRO.M2	NRO.S1	NRO.S1
NRO.M1	NRO.S2 or NRO.M1	NRO.M1	NRO.M1	NRO.S1	NRO.S1

Less Intense →

n 3 stories.

*For more information on each zone, please refer to next page.*

## 1.050 Overview of Overlay Zones

Table 1.050.A (Zones Overview) provides an overview of each overlay zone and its intent. This information is provided as qualitative background information on the intended physical character, allowed range of uses, and direction for the detailed standards in each overlay zone.

**Table 1.050.A: Zones Overview**

### Neighborhood Residential Overlay.Small 1



**Zone Abbreviation**

NRO.S1

**Intent**

A neighborhood environment of small-to-medium footprint, low-to-moderate-intensity housing choices.

**Desired Form**

House-Scale Buildings: Duplex Stacked, Duplex Side-by-Side, Cottage Housing, and Triplexes/Fourplexes

Detached Buildings

Small-to-Medium Building Footprints

Medium Front Setbacks

Small-to-Medium Side Setbacks

Up to 2.5 Stories

Porch Projecting, Porch Engaged, Dooryard Frontage Types

### Neighborhood Residential Overlay.Small 2



**Zone Abbreviation**

NRO.S2

**Intent**

A neighborhood environment of small footprint, low-to-moderate-intensity housing choices.

**Desired Form**

House-Scale Buildings: Duplex Stacked, Duplex Side-by-Side, Cottage Housing, Triplexes/Fourplexes, and Townhouses

Detached Buildings

Small-to-Medium Building Footprints

Medium Front Setbacks

Medium Side Setbacks

Up to 2.5 Stories

Porch Projecting, Porch Engaged, Dooryard, and Stoop Frontage Types

**Table 1.050.A: Zones Overview (Continued)**

**Neighborhood Residential Overlay.Medium 1**



**Zone Abbreviation**

NRO.M1

**Intent**

A neighborhood environment of small-to-medium footprint, low-to-moderate-intensity housing choices.

**Desired Form**

House-Scale Buildings: Triplexes/Fourplexes, Townhouses, Courtyards, and Multiplexes

Detached Buildings

Medium Building Footprints

Small-to-Medium Front Setbacks

Small Side Setbacks

Up to 2.5 Stories

Porch Projecting, Porch Engaged, Dooryard, and Stoop Frontage Types

**Neighborhood Residential Overlay.Medium 2**



**Zone Abbreviation**

NRO.M2

**Intent**

A neighborhood environment of small-to-medium footprint, low-to-moderate-intensity housing choices.

**Desired Form**

Primarily House-Scale Buildings: Triplexes/Fourplexes, Townhouses, Courtyards, and Multiplexes

Primarily Detached Buildings

Medium Building Footprints

Small Front Setbacks

Small Side Setbacks

Up to 3 Stories

Porch Projecting, Porch Engaged, Dooryard, and Stoop Frontage Types

*This page intentionally left blank*

# Chapter 2: Overlay Zones and Standards

---

## Sections:

2.010	Purpose
2.020	General Requirements
2.030	Neighborhood Residential Overlay.Small (NRO.S1)
2.040	Neighborhood Residential Overlay.Small (NRO.S2)
2.050	Neighborhood Residential Overlay.Medium 1 (NRO.M1)
2.060	Neighborhood Residential Overlay.Medium 2 (NRO.M2)
2.070	Multiple Buildings on a Site
2.080	Roof Pitch and Dormer Windows

---

## 2.010 Purpose

This [Chapter](#) provides three different sets of standards to implement Middle housing and support the variety of intended physical character.

---

## 2.020 General Requirements

1. Each overlay zone regulates and generates the intended physical character through the following topics:
  - A. Intent: the intended physical character and range of uses;
  - B. Building placement and Lot size: the minimum to maximum building setbacks and requirements for façade design and the associated minimum site dimensions.
  - C. Building footprint: the maximum overall building dimensions.
  - D. Frontages: the menu of allowed frontage types required at building entries.
  - E. Building form: the maximum overall building height, minimum ground floor height, and maximum building footprint (coverage);
  - F. Parking: the required location and design requirements for parking and vehicle access
2. The standards for each zone assume a single building on a lot. Development projects with more than one building on a site are additionally subject to Section 2.070 (Multiple Buildings on a Site).
3. On-Site Parking
  - A. Parking spaces may be grouped with those on adjacent lots and may be detached from development sites within the same block or across a passage.
  - B. Where structured parking is provided, buildings are allowed to abut the parking structure and are exempt from minimum lot depth and rear building setbacks.

- C. Subterranean Parking and semi-subterranean garages are subject to the following provisions, in compliance with the requirement for habitable space in [Subsection 6](#) of the zone:
- (1) Subterranean garages are exempt from the required parking setbacks and are subject to the building setbacks.
  - (2) Semi-subterranean garages are allowed to project above the adjacent finished grade by up to 2 feet.
  - (3) Lots that provide all required parking in a subterranean or semi-subterranean garage are exempt from minimum lot depth.
4. Frontage types are allowed to encroach into required front and side street setbacks by up to 5 feet. For all other encroachments, see [City standards](#).



*General note: the illustrations above are intended to provide a brief overview of the zone and are illustrative.*

### 1. Intent

A neighborhood environment of small-to-medium footprint, low-to-moderate-intensity housing choices.

The following are allowed form elements in the zone.

House-Scale Buildings: Duplexes,

Medium Front Setbacks

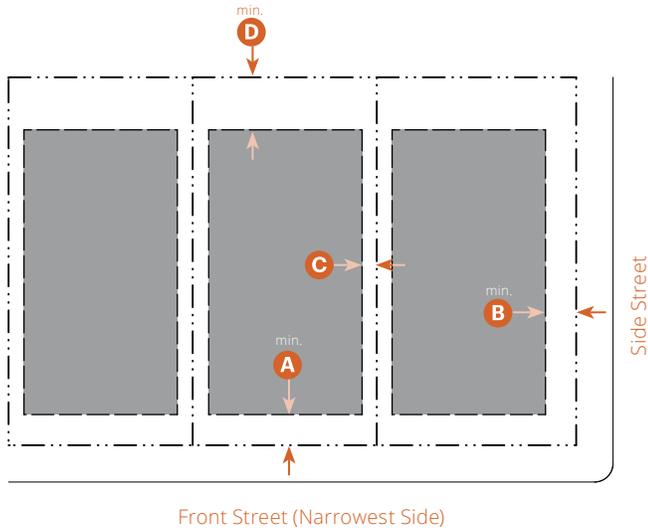
Cottage Housing, Fourplexes

Small-to-Medium Side Setbacks

Detached Buildings

Up to 2.5 Stories

Small-to-Medium Building Footprints



**Key**

- ROW/ Lot Line
- Building Setback Line
- Building Placement Area

**Key**

- ROW/ Lot Line
- Building Setback Line
- Building
- ▨ Required Frontage

**2. Building Placement (Primary Building)**

**Lot Size for New Lot**

Width	50' min.
Depth	100' min.

**Setbacks (Distance from ROW / Property Line)<sup>1</sup>**

Front		<b>A</b>
Interior Lot	20' min.	
Corner Lot	20' min.	
Side Street	15' min.	<b>B</b>
Side	7' min.	<b>C</b>
Rear	20' min.	<b>D</b>

<sup>1</sup> Lots with slopes ≥ 10% shall comply with [Section 3.050 \(Slope Standards\)](#).

**3. Building Footprint(s)**

**Footprint**

Cottage Housing	25' x 25' max., each unit
-----------------	---------------------------

**Other**

Width along front street	38' max.	<b>E</b>
Depth	48' max.	<b>F</b>

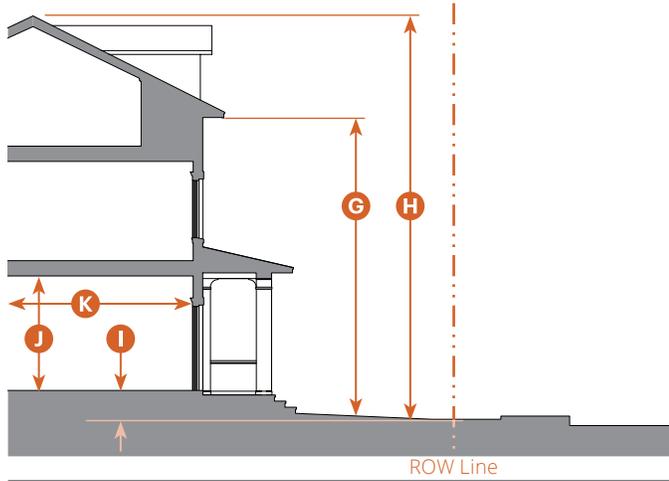
**Lot Coverage**

Coverage	In compliance with Building Footprint max.
Pervious surface	30% of lot min.

**Shared Yard (Clear)**

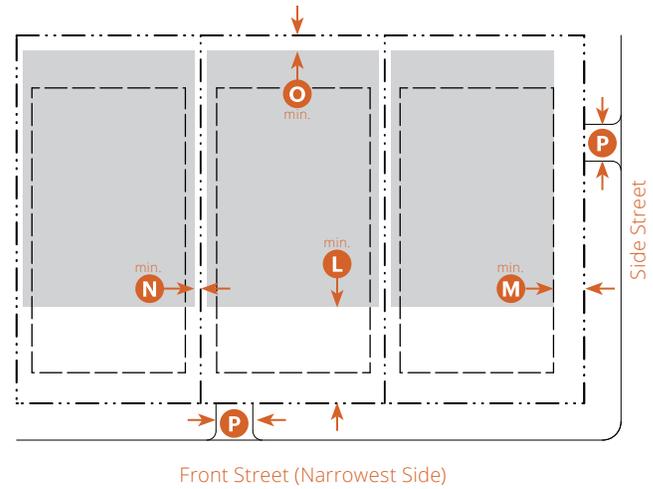
Cottage Housing	<a href="#">Section 2.070</a>
Other	15' x 15' min.

Sites with multiple buildings (except accessory structures) are additionally subject to [Section 2.070 \(Multiple Buildings on a Site\)](#).



**Key**

--- ROW Line



**Key**

--- ROW/ Lot Line

■ Parking Area

--- Building Setback Line

**4. Frontage(s)**

A private frontage type is required at building and/or unit entries along a thoroughfare or publicly accessible space.

Allowed Private Frontage Type	Standards
Dooryard	#A1.020.A.1
Porch	#A1.020.A.1

**5. Building Form**

**Height<sup>2,3</sup>**

Stories	2.5 max. <sup>3</sup>	
To Highest Eave/Parapet	22' max.	<b>G</b>
Overall	35' max.	<b>H</b>
Ground Floor Finish Level	6" min. <sup>4</sup>	<b>I</b>
Ground Floor	9' min. clear	<b>J</b>

**Habitable Ground-Floor Space**

Depth, from Front of Building		
Cottage Housing	20' min.	<b>K</b>
All Other Buildings	30' min.	

<sup>2</sup>Cottage Housing shall be limited to 1.5 stories in height and 14' to highest eave.

<sup>3</sup>A half-story is a habitable space within the roof of the topmost story. See [Section 2.080 \(Roof Pitch and Dormer Windows\)](#) for half-story standards.

<sup>4</sup>Common entries may be set at grade in compliance with local and federal accessibility standards.

**6. Parking**

Use Type	Vehicular Spaces <sup>5</sup>	Bicycle Spaces
Within 1,000' of transit stop		
Studio or 1 Bedroom	1 min. per unit	1 min. per unit
2 or More Bedrooms	1.5 min. per unit	2 min. per unit
Not within 1,000' of transit stop		
Studio or 1 Bedroom	1.5 min. per unit	1 min. per unit
2 or More Bedrooms	2 min. per unit	2 min. per unit

**Setback (Distance from ROW/ Lot Line)**

Front	50' min.	<b>L</b>
Side Street	25' min.	<b>M</b>
Side	5' min.	<b>N</b>
Rear	5' min.	<b>O</b>

Driveway	One-Way	Two-Way
Curb Cut/Width	12' max.	Not Allowed <b>P</b>

Driveways may be shared between adjacent lots but shall not exceed maximum allowed width.

Front access not allowed on corner lots.

Bicycles may be parked anywhere on lot, in compliance with pedestrian and vehicular access standards.

<sup>5</sup>See [Subsection 3.040 \(Parking and Loading\)](#) for additional standards.

*This page intentionally left blank*



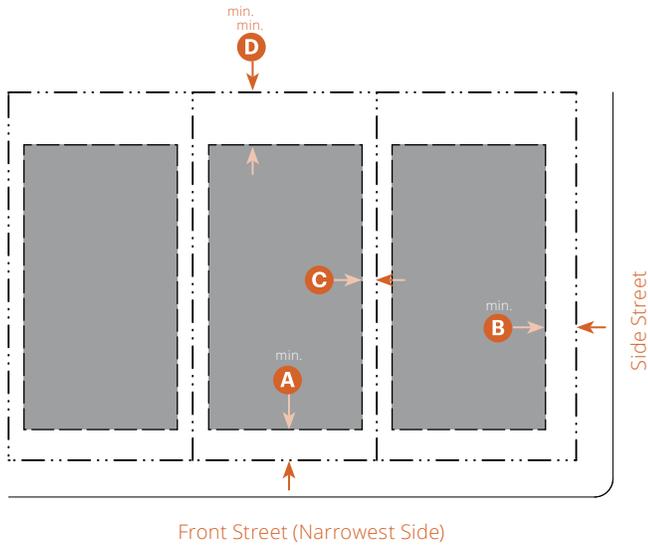
General note: the illustrations above are intended to provide a brief overview of the zone and are illustrative.

### 1. Intent

A neighborhood environment of small-to-medium footprint, low-to-moderate-intensity housing choices.

The following are allowed form elements in the zone.

House-Scale Buildings: Duplex	Medium Front Setbacks
Stacked, Duplex Side-by-Side, Cottage	Medium Side Setbacks
Housing, Triplexes/Fourplexes, and	Up to 2.5 Stories
Townhouses	
Detached Buildings	
Small-to-Medium Building Footprints	



**Key**

- ROW/ Lot Line
- Building Setback Line
- Building Placement Area

**Key**

- ROW/ Lot Line
- Building Setback Line
- Building
- ▨ Required Frontage

**2. Building Placement (Primary Building)**

**Lot Size for New Lot**

Width	50' min.
Depth	100' min.

**Setbacks (Distance from ROW / Property Line)<sup>1</sup>**

Front		<b>A</b>
Interior Lot	15' min., 25' max.	
Corner Lot	15' min., 25' max.	
Side Street	10' min., 20' max.	<b>B</b>
Side	5' min.	<b>C</b>
Rear	20' min.	<b>D</b>

<sup>1</sup> Lots with slopes ≥ 10% shall comply with [Section 3.050 \(Slope Standards\)](#).

**3. Building Footprint(s)**

**Footprint**

Cottage Housing	25' x 25' max., each unit
-----------------	---------------------------

**Other**

Width along front street	38' max. <sup>2</sup>	<b>E</b>
Depth	48' max.	<b>F</b>

**Lot Coverage**

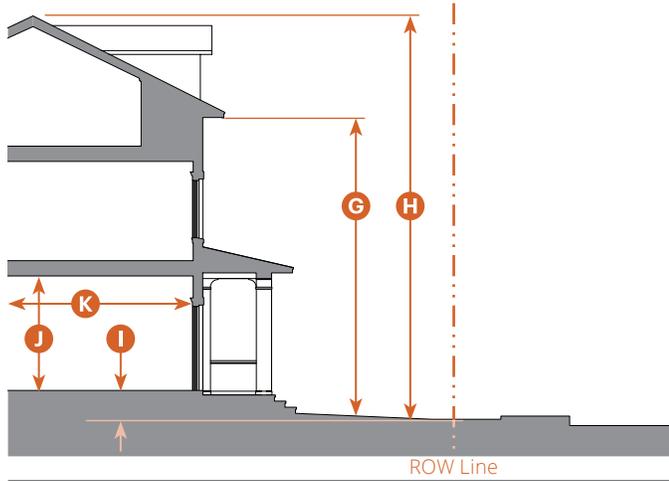
Coverage	In compliance with Building Footprint max.
Pervious surface	30% of lot min.

**Shared Yard (Clear)**

Cottage Housing	<a href="#">Section 2.070</a>
Townhouse	<a href="#">Section 2.070</a>
Other	15' x 15' min.

Sites with multiple buildings (except accessory structures) are additionally subject to [Section 2.070 \(Multiple Buildings on a Site\)](#).

<sup>2</sup> Townhome buildings may be up to 60' wide and contain up to 3 units and be counted as one building.



**Key**

--- ROW Line

**4. Frontage(s)**

A private frontage type is required at building and/or unit entries along a thoroughfare or publicly accessible space.

**Allowed Private Frontage Type Standards**

Dooryard	#A1.020.A.1
Stoop	#A1.020.A.1
Porch	#A1.020.A.1

**5. Building Form**

**Height<sup>3,4</sup>**

Stories	2.5 max. <sup>4</sup>	
To Highest Eave/Parapet	22' max.	<b>G</b>
Overall	35' max.	<b>H</b>
Ground Floor Finish Level	6" min. <sup>5</sup>	<b>I</b>
Ground Floor	9' min. clear	<b>J</b>

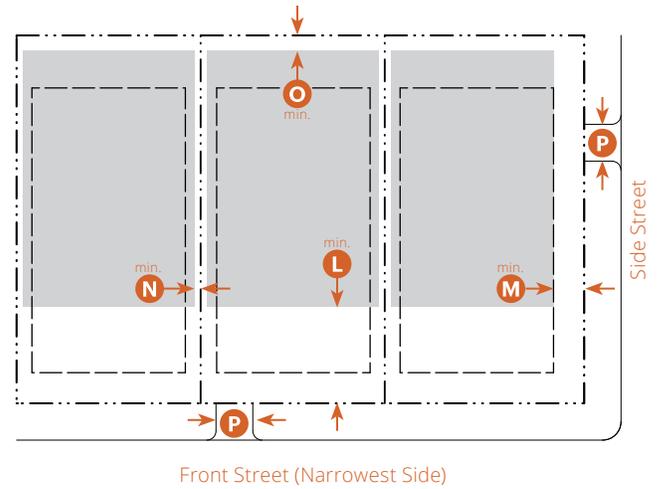
**Habitable Ground-Floor Space**

Depth, from front of building		<b>K</b>
Cottage Housing	20' min.	
All Other Buildings	30' min.	

<sup>3</sup> Cottage Housing shall be limited to 1.5 stories in height and 14' to highest eave.

<sup>4</sup> A half-story is a habitable space within the roof of the topmost story. See Section 2.080 (Roof Pitch and Dormer Windows) for half-story standards.

<sup>5</sup> Common entries may be set at grade in compliance with local and federal accessibility standards.



**Key**

--- ROW/ Lot Line

■ Parking Area

--- Building Setback Line

**6. Parking**

Use Type	Vehicular Spaces <sup>6</sup>	Bicycle Spaces
Within 1,000' of transit stop		
Studio or 1 Bedroom	1 min. per unit	1 min. per unit
2 or More Bedrooms	1.5 min. per unit	2 min. per unit
Not within 1,000' of transit stop		
Studio or 1 Bedroom	1.5 min. per unit	1 min. per unit
2 or More Bedrooms	2 min. per unit	2 min. per unit

**Setback (Distance from ROW/ Lot Line)**

Front	50' min.	<b>L</b>
Side Street	25' min.	<b>M</b>
Side	5' min.	<b>N</b>
Rear	5' min.	<b>O</b>

**Driveway One-Way Two-Way**

Curb Cut/Width	12' max.	Not Allowed <b>P</b>
----------------	----------	----------------------

Driveways may be shared between adjacent lots but shall not exceed maximum allowed width.

Front access not allowed on corner lots.

Bicycles may be parked anywhere on lot, in compliance with pedestrian and vehicular access standards.

<sup>6</sup> See Section 3.040 (Parking and Loading) for additional standards.

*This page intentionally left blank*



*General note: the illustrations above are intended to provide a brief overview of the zone and are descriptive in nature.*

### 1. Intent

A neighborhood environment of small-to-medium footprint, low-to-moderate-intensity housing choices.

The following are allowed form elements in the zone.

House-Scale Buildings: Townhouses,  
Courtyards, and Multiplexes

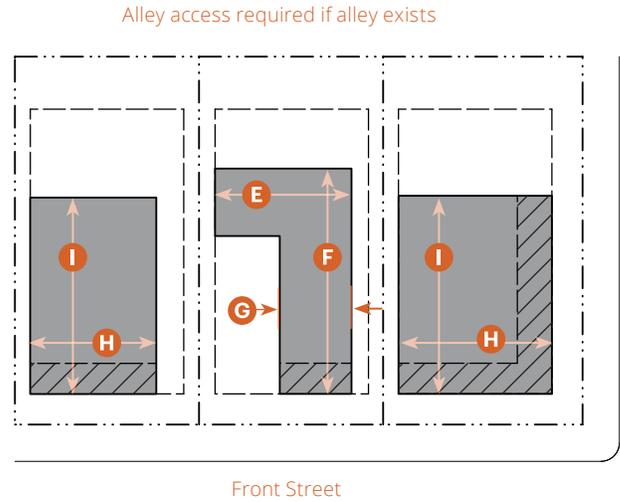
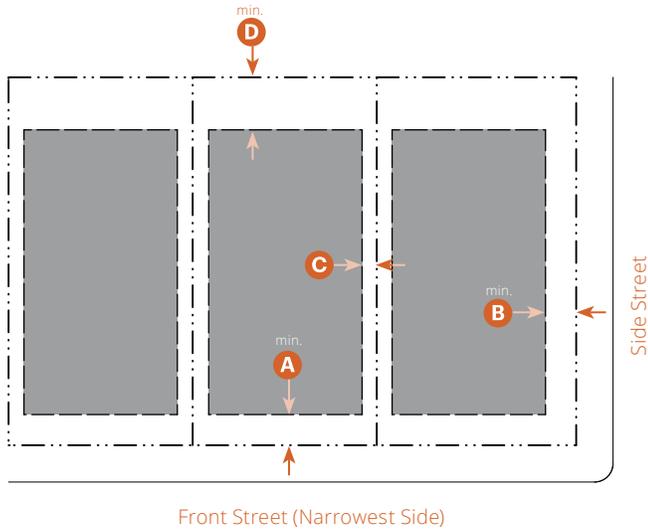
Small-to-Medium Front Setbacks

Small Side Setbacks

Detached Buildings

Up to 2.5 Stories

Medium Building Footprints



**Key**

- ROW/ Lot Line
- Building Setback Line
- Building Placement Area

**Key**

- ROW/ Lot Line
- Building Setback Line
- Building
- ▨ Required Frontage

**2. Building Placement (Primary Building)**

**Lot Size for New Lot**

Width	60' min.
Depth	120' min.

**Setbacks (Distance from ROW / Property Line)<sup>1</sup>**

Front		<b>A</b>
Interior Lot	10' min.	
Corner Lot	10' min.	
Side Street	10' min.	<b>B</b>
Side	5' min.	<b>C</b>
Rear	15' min.	<b>D</b>

<sup>1</sup> Lots with slopes ≥ 10% shall comply with [Section 3.050 \(Slope Standards\)](#).

**3. Building Footprint(s)**

**Footprint**

Courtyard Building <sup>3</sup> , Width Overall	100' max.	<b>E</b>
Courtyard Building <sup>3</sup> , Depth Overall	100' max.	<b>F</b>
Width	40' max.	<b>G</b>

**Other**

Width Along Front Street	60' max. <sup>2</sup>	<b>H</b>
Depth	85' max.	<b>I</b>

**Lot Coverage**

Coverage	In compliance with Building Footprint max.
Pervious surface	20% of lot min.

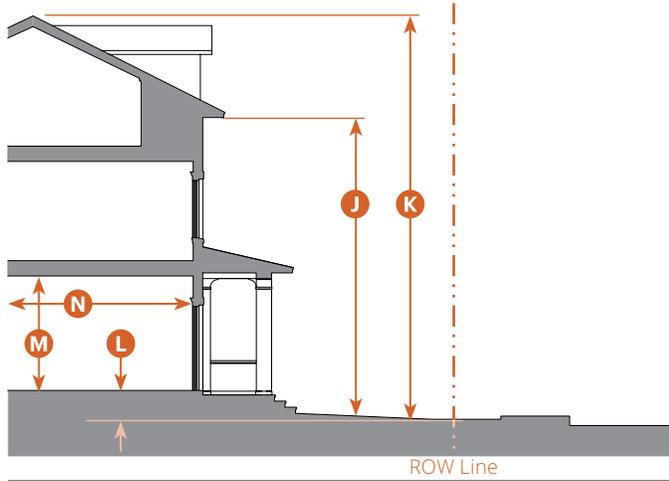
**Shared Yard (Clear)**

Courtyard Building	25' x 35' min.
Townhouse	10' x 10' min.
Other	15' x 15' min.

Sites with multiple buildings (except accessory structures) are additionally subject to [Section 2.070 \(Multiple Buildings on a Site\)](#).

<sup>2</sup> Townhome buildings may be up to 85' wide and contain up to 5 units and be counted as one building.

<sup>3</sup> U and L plan configurations allowed.



**Key**

--- ROW Line

**4. Frontage(s)**

A private frontage type is required at building and/or unit entries along a thoroughfare or publicly accessible space.

Allowed Private Frontage Type	Standards
Dooryard	#A1.020.A.1
Stoop	#A1.020.A.1
Porch	#A1.020.A.1

**5. Building Form**

**Height**

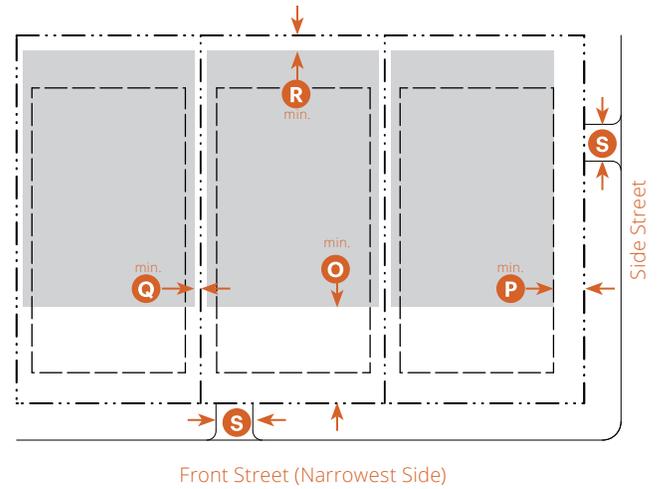
Stories	2.5' max. <sup>4</sup>	
To Highest Eave/Parapet	24' max.	<b>J</b>
Overall	35' max.	<b>K</b>
Ground Floor Finish Level	6" min. <sup>35</sup>	<b>L</b>
Ground Floor	9' min. clear	<b>M</b>

**Habitable Ground-Floor Space**

Depth, from Front of Building	30' min.	<b>N</b>
-------------------------------	----------	----------

<sup>4</sup>A half-story is a habitable space within the roof of the topmost story. See [Section 2.080 \(Roof Pitch and Dormer Windows\)](#) for half-story standards.

<sup>5</sup>Common entries may be set at grade in compliance with local and federal accessibility standards.



**Key**

--- ROW/ Lot Line

■ Parking Area

--- Building Setback Line

**6. Parking**

Use Type	Vehicular Spaces <sup>6</sup>	Bicycle Spaces
Within 1,000' of transit stop		
Studio or 1 Bedroom	1 min. per unit	1 min. per unit
2 or More Bedrooms	1.5 min. per unit	2 min. per unit
Not within 1,000' of transit stop		
Studio or 1 Bedroom	1.5 min. per unit	1 min. per unit
2 or More Bedrooms	2 min. per unit	2 min. per unit

Setback (Distance from ROW/ Lot Line)		
Front	40' min.	<b>O</b>
Side Street	25' min.	<b>P</b>
Side	5' min.	<b>Q</b>
Rear	5' min.	<b>R</b>
Driveway	One-Way	Two-Way
Curb Cut/Width	12' max.	Not Allowed <b>S</b>

Driveways may be shared between adjacent lots but shall not exceed maximum allowed width.

Front access not allowed on corner Lots.

Bicycles may be parked anywhere on Lot, in compliance with pedestrian and vehicular access standards.

<sup>6</sup>See [Section 3.040 \(Parking and Loading\)](#) for additional standards.

*This page intentionally left blank*



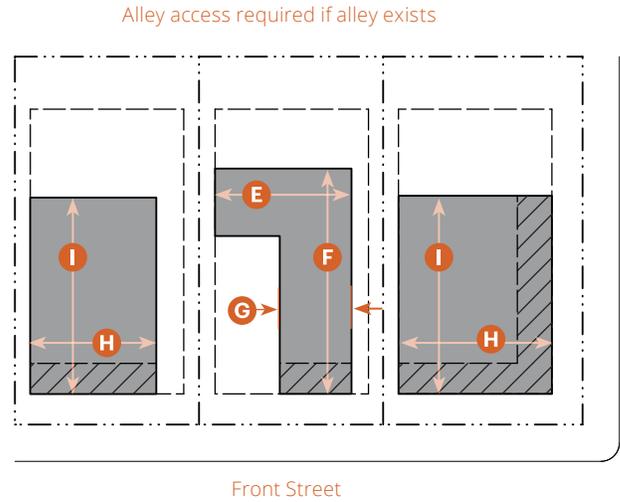
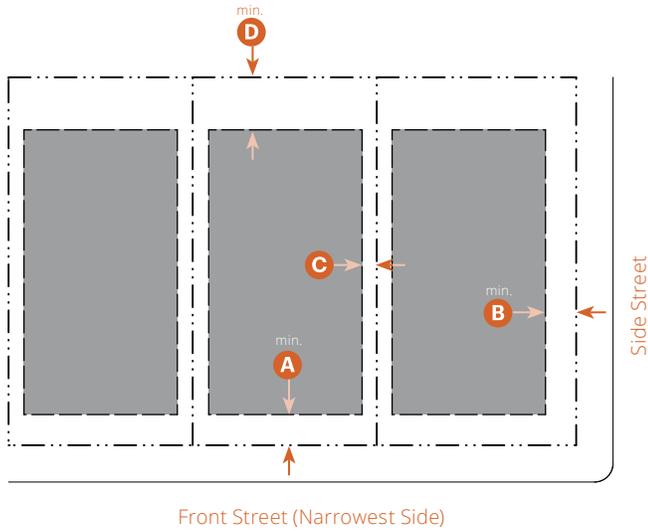
General note: the illustrations above are intended to provide a brief overview of the zone and are descriptive in nature.

**1. Intent**

A neighborhood environment of small-to-medium footprint, low-to-moderate-intensity housing choices.

The following are allowed form elements in the zone.

Primarily House-Scale Buildings:	Small Front Setbacks
Townhouses, Courtyards, Multiplexes	Small Side Setbacks
Primarily Detached Buildings	Up to 3 Stories
Medium Building Footprints	



**Key**

- ROW/ Lot Line
- Building Setback Line
- Building Placement Area

**Key**

- ROW/ Lot Line
- Building Setback Line
- Building
- ▨ Required Frontage

**2. Building Placement (Primary Building)**

**Lot Size**

Width	70' min.
Depth	100' min.

**Setbacks (Distance from ROW / Property Line)<sup>1</sup>**

Front		<b>A</b>
Interior Lot	10' min.	
Corner Lot	10' min.	
Side Street	7' min.	<b>B</b>
Side	5' min.	<b>C</b>
Rear	15' min.	<b>D</b>

<sup>1</sup> Lots with slopes ≥ 10% shall comply with [Section 3.050 \(Slope Standards\)](#).

**3. Building Footprint(s)**

**Footprint**

Courtyard Building <sup>2</sup> , Width Overall	100' max.	<b>E</b>
Courtyard Building <sup>2</sup> , Depth Overall	100' max.	<b>F</b>
Width	40' max.	<b>G</b>

**Other**

Width Along Front Street	70' max. <sup>2</sup>	<b>H</b>
Depth	100' max.	<b>I</b>

**Lot Coverage**

Coverage	In compliance with Building Footprint max.
Pervious Surface	20% of lot min.

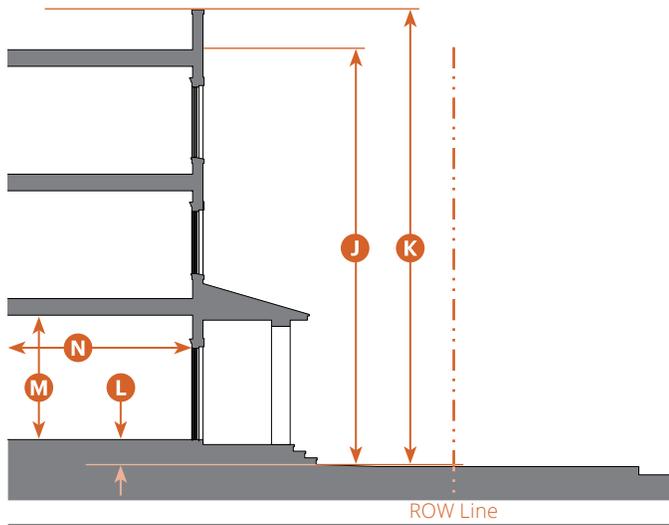
**Shared Yard (Clear)**

Courtyard Building	30' x 40' min.
Townhouse	10' x 10' min.
Other	15' x 15' min.

Sites with multiple buildings (except accessory structures) are additionally subject to [Section 2.070 \(Multiple Buildings on a Site\)](#).

<sup>2</sup> Townhome buildings may be up to 85' wide and contain up to 5 units and be counted as one building.

<sup>3</sup> U and L plan configurations allowed.



**Key**

--- ROW Line

**4. Frontage(s)**

A private frontage type is required at building and/or unit entries along a thoroughfare or publicly accessible space.

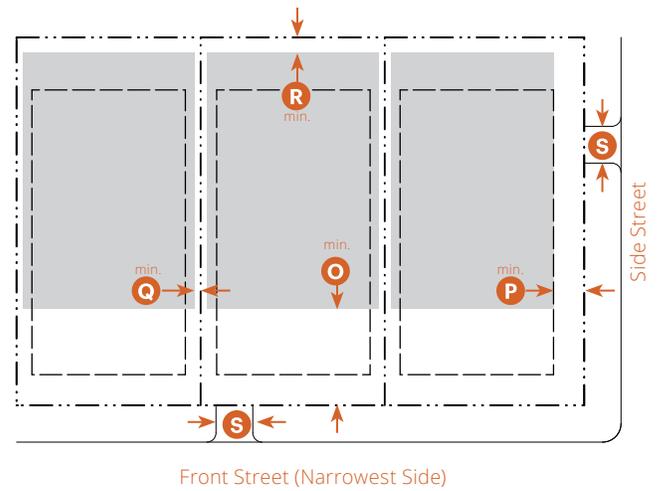
Allowed Private Frontage Type	Standards
Dooryard	#A1.020.A.1
Stoop	#A1.020.A.1
Porch	#A1.020.A.1

**5. Building Form**

Height	Pitched Roof	Parapet	
Stories	2.5 <sup>4</sup>	3' max.	J
To Highest Eave/Parapet	24'	35' max.	K
Ground Floor Finish Level	— 6" min. <sup>5</sup> —		L
Ground Floor	— 9' min. clear —		M
<b>Habitable Ground-Floor Space</b>			
Depth, from front of building			N
Cottage Housing	— 20' min. —		
All Other Buildings	— 30' min. —		

<sup>4</sup> A half-story is a habitable space within the roof of the topmost story. See [Section 2.080 \(Roof Pitch and Dormer Windows\)](#) for half-story standards.

<sup>5</sup> Common entries may be set at grade in compliance with local and federal accessibility standards.



**Key**

--- ROW/ Lot Line

■ Parking Area

--- Building Setback Line

**6. Parking**

Use Type	Vehicular Spaces <sup>6</sup>	Bicycle Spaces
Within 1,000' of transit stop		
Studio or 1 Bedroom	1 min. per unit	1 min. per unit
2 or More Bedrooms	1.5 min. per unit	2 min. per unit
Not within 1,000' of transit stop		
Studio or 1 Bedroom	1.5 min. per unit	1 min. per unit
2 or More Bedrooms	2 min. per unit	2 min. per unit
<b>Setback (Distance from ROW/ Lot Line)</b>		
Front	40' min.	O
Side Street	25' min.	P
Side	5' min.	Q
Rear	5' min.	R
<b>Driveway</b>		
One-Way	12' max.	Two-Way
Curb Cut/Width	12' max.	Not Allowed S

Driveways may be shared between adjacent lots but shall not exceed maximum allowed width.

Front access not allowed on corner Lots.

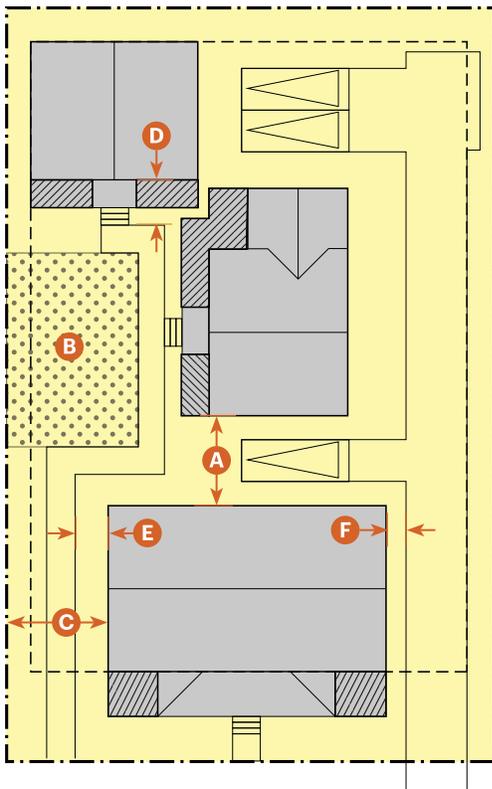
Bicycles may be parked anywhere on Lot, in compliance with pedestrian and vehicular access standards.

<sup>6</sup> See [Section 3.040 \(Parking and Loading\)](#) for additional standards.

## 2.070 Multiple Buildings on a Site

- A. The standards of this subsection are in addition to the standards of the zone unless stated otherwise, and apply to lots with 2 or more primary buildings on a development site that is 100' or less in width. See [Figure 2.070.1](#)
- (1) All buildings not fronting a street must front shared yard.
    - (a) Buildings fronting shared yard must provide a Frontage Type on and take primary access from the shared yard.
    - (b) Encroachments into shared yard are not allowed.
    - (c) Parking is not allowed in shared yard.
    - (d) Shared yard is not allowed to encroach into front setback.

Figure 2.070.1 Multiple Buildings on One Site



**Key**

--- ROW / Property Line	▨ Frontage Area
..... Setback Line	▤ Shared Yard
■ Building	

### Multiple Buildings

#### Lot Coverage

Building Footprints Only	60%
--------------------------	-----

#### Building Size<sup>1</sup>

Detached House	30' x 30'; 1.5 stories max.
Buildings with > 1 Unit	48' x 48' max.

#### Building Separation

Clear Space Between Buildings	10' min. (clear)	<b>A</b>
-------------------------------	------------------	----------

#### Shared Yard for Lot

Area (up to 5 Buildings)	20' x 30' min. clear	<b>B</b>
Area (6 or more Buildings)	20% of the lot min.; no dim. <20'	
Opening to Front or Side Street	12'	<b>C</b>
Shared yard shall not be combined with or encroached with vehicular access or parking areas.		

### 4. Pedestrian Access

Passage Setbacks		
From Building Entrance	10' min.	<b>D</b>
From Side of Building	8' min.	<b>E</b>

#### Frontage Area per Building

Required for full length of building at all facades adjacent or abutting a pedestrian path or shared yard space. At least 2/3 of the building must abut the shared yard space.

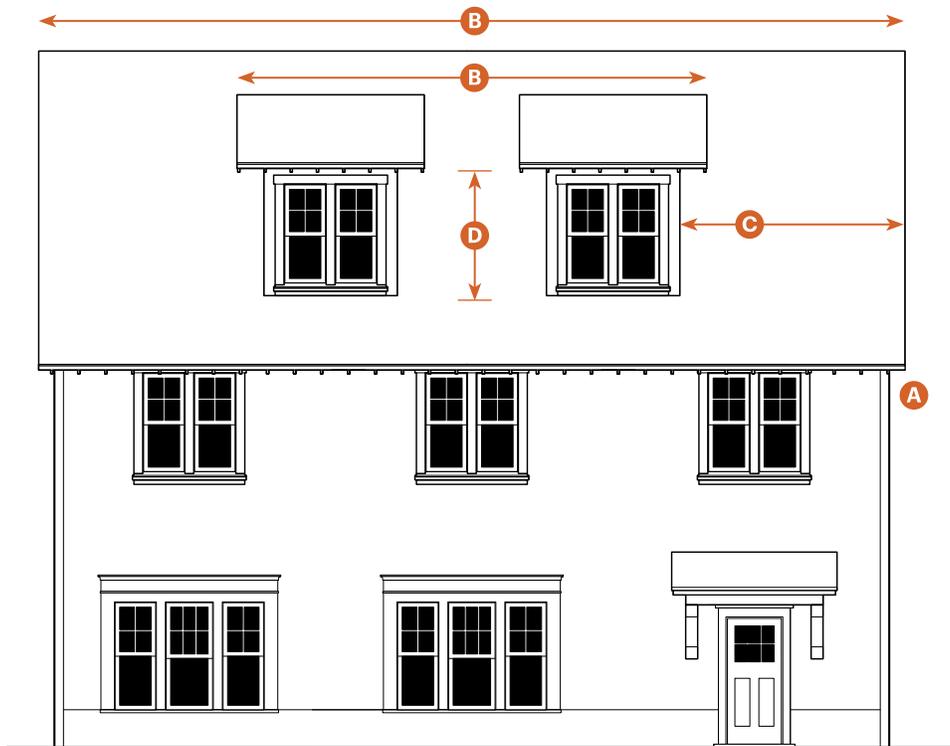
#### Vehicle Access and Parking

Distance from Buildings	5' min.	<b>F</b>
-------------------------	---------	----------

Driveway and parking location shall comply with standards in [Section 3.040](#).

<sup>1</sup> Detached house exempt from building type and design site requirements

**2.080 Roof Pitch and Dormer Windows**



**Eaves and Roof**

Type	Pitched or Flat	
Eave	8" min. or profiled	<b>A</b>
Dormer(s)	Total width not to exceed 50% of associated roof length	<b>B</b>
Dormer Separation from Edge	2'	<b>C</b>
Height (max.)	6'	<b>D</b>

**Roof Pitch**

Shed (monopitch) Roofs	i. 2 in 12 min. slope
Porch Roofs	ii. 3 in 12 min. slope
	iii. Allowed to have a lower pitch than the building
Flat Roofs	iv. Shall include a decorative parapet to conceal all roof areas/equipment from view of a public street or space
	v. Parapet shall match the materials and finished used on the building walls.
Applied Mansard Roofs	Not Allowed

*This page intentionally left blank*

# Chapter 3: Site Design Standards

---

## Sections:

3.010	Purpose
3.020	Screening
3.030	Landscaping and Lighting
3.040	Parking and Loading
3.050	Slope Standards

---

## 3.010 Purpose

This Chapter provides standards to ensure that new development accomplishes the following:

1. Is compatible with the design and use of existing structures on neighboring properties; and
2. Does not adversely affect neighboring properties, with "adversely affect" meaning to impact in a substantial, negative manner the habitability of properties adjacent to new development or the alterations of existing buildings/sites.

---

## 3.020 Screening

1. **Design Standards for Screening.** Except for wall- and ground-mounted equipment that is not visible from the public right-of-way or abutting lots, all equipment shall comply with the following:
  - A. **Screening Height Maximums.** Screening shall not exceed the maximums identified in [Table 3.020.A \(Maximum Screening Height\)](#).
  - B. **Screening Height Measurement.** Screening height shall be measured as the vertical distance between the finished grade at the base of the screen and the top edge of the screen material.  
**Screening on Retaining Walls.** The total height of screens and the retaining walls they are mounted on or attached to shall not exceed six feet.
2. **Mechanical Equipment Screening**
  - A. The following mechanical equipment is exempt from screening:
    - (1) Free-standing or roof-mounted solar equipment; and
    - (2) Vents less than two feet in height.
  - B. For new installation or relocation of existing mechanical equipment, the equipment shall be screened.
    - (1) **Roof-Mounted Equipment.** Building parapets or other architectural elements in the building's architectural style shall screen roof-mounted equipment.

- (a) New buildings shall be designed to provide a parapet or other architectural element that is as tall or taller than the highest point on any new mechanical equipment to be located on the roof of the building; and
  - (b) For existing buildings with no parapet less than two feet in height, mechanical equipment shall be surrounded on all sides by an opaque screen wall as tall as the highest point of the equipment. The wall shall be architecturally consistent with the building and match the existing building with paint, finish, and trim cap detail.
- (2) **Wall- and Ground-Mounted Equipment**
- (a) Equipment is not allowed between front or side street façades and the street.
  - (b) All screen devices shall be as high as the highest point of the equipment being screened.
  - (c) Equipment and screening shall be in compliance with the setbacks of the zone.
  - (d) Screening shall be architecturally compatible and include matching paint, finish, and trim cap of the building.
3. **Temporary Fencing.** Temporary fencing may be used to provide security for approved special events, construction sites, or vacant structures and land, which cannot otherwise be secured. All temporary fencing shall be in compliance with [City's Fencing Standards](#).
4. **Barbed Wire and Razor Wire.** Barbed wire and razor wire screening are not allowed.
5. **Safety.** Fences, walls, and other screening and landscaping, whether provided in compliance with the provisions of this [Subsection](#) or provided in addition to those provisions, are subject to review by the Traffic Engineer in the following areas to ensure that visibility is maintained:
- A. Within 10 feet of the point of intersection of:
    - (1) A vehicular access way or driveway and a street; and/or
    - (2) A vehicular access way or driveway and a sidewalk.
  - B. Within 20 feet of the point of intersection of two or more vehicular access ways, including driveways, alleys, or streets.
  - C. As used in this [Subsection](#), "point of intersection" is measured from the face of curb or if none, from the edge of pavement.

**Table 3.020.A: Maximum Screening Height**

Zone	Item	Maximum Height Allowed			
		Front	Side St.	Side	Rear
NRO.S	Fences	3' max.	3' max.	8' max.	8' max.
	Free Standing Walls	3' max.	3' max.	8' max.	8' max.
	Landscaping <sup>1</sup>	4' max.	4' max.	No max.	No max.
NRO.M1, NRO.M2	Fences	X	X	10' max.	10' max.
	Free Standing Walls	X	X	10' max.	10' max.
	Landscaping <sup>1</sup>	3' max.	3' max.	No max.	No max.

<sup>1</sup> Excludes trees

Key X = Not Allowed

---

### 3.030 Landscaping and Lighting

1. **Intent.** This [Section](#) prescribes landscaping and lighting standards for protection and enhancement of the environmental and visual quality of the community, enhancement of privacy, and the control of dust.
2. **Required Landscaping.** The landscaping required by this [Section](#) shall be installed as part of the development or improvement(s) requiring the landscaping. Standards for landscaping in parking areas shall be in combination with [Section 3.040 \(Parking and Loading\)](#).
  - A. Landscaping materials shall be integrated into the required setbacks, stream and wetland buffers, and design of the selected private frontage type(s).
3. **Required Lighting**
  - A. Lighting shall be provided in compliance with the following:
    - (1) All exterior lighting shall be designed, located, and lamped in order to prevent overlighting and light trespass.
    - (2) All parking lot lights shall be full cutoff luminaires, as certified by the manufacturer, with the light source directed downward and away from adjacent residences.
    - (3) Bollard lighting may be used to light walkways and other landscape features, but shall cast its light downward.
    - (4) Internally illuminated fascia, wall, roof, awning or other building parts are prohibited.
4. **Design Standards**
  - A. **Allowed Landscaping Materials**
    - (1) Landscaping materials shall comply with the following:
      - (a) Shrubs, of at least one-gallon size;
      - (b) Ground cover instead of grass/turf; and/or
      - (c) Decorative nonliving landscaping materials including, but not limited to, sand, stone, gravel, wood or water may be used to satisfy a maximum of 25 percent of the required landscaping area.
    - (2) Street trees, of at least 15-gallon size, double-staked, planted between the curb and the back of the sidewalk.
  - B. **Species Selection**
    - (1) Native and drought tolerant species are required to meet the minimum standards, in [City's ordinance](#).
    - (2) Landscaping shall be in compliance with [Section x.xx.xxx \(City's Fire Department Standards\)](#).
  - C. **Existing Vegetation.** On-site trees of species [xxx](#) and/or a caliper size of at least [xxx](#) inches shall be incorporated into the landscaping.

#### D. Retaining Walls

- (1) Retaining walls within the front and/or side street setback(s) or visible from the public sidewalk adjoining the lot shall:
    - (a) Not exceed four feet in height as measured to the adjacent finished grade or sidewalk whichever is nearest;
    - (b) Include a landscape planter in front of the wall. The planter shall be at least 18 inches deep measured perpendicular to the wall; and/or
    - (c) Be finished with allowable wall material(s) of the selected architectural style for the primary building.
  - (2) Retaining walls along the interior lot line that are beyond the front and/or side street setback(s) shall:
    - (a) Not exceed three feet as measured to the adjacent finished grade;
    - (b) Include a landscape planter in front of the wall. The planter shall be at least three feet deep measured perpendicular to the wall; and/or
    - (c) Be finished with allowable wall material(s) of the selected architectural style for the primary building.
  - (3) Retaining walls along the rear lot line that are beyond the front and/or side street setback(s) shall:
    - (a) Not exceed eight feet as measured to the adjacent finished grade;
    - (b) If exposed, include a landscape planter in front of the wall. The planter shall be at least three feet deep measured perpendicular to the wall;
    - (c) Be finished with allowable wall material(s) of the selected architectural style for the primary building; and/or
    - (d) Not require landscaping or wall material finish(es) if within the building and not exposed.
- E. **Maintenance.** Required landscaping shall be maintained in a clean and healthy condition. This includes pruning, weeding, removal of litter, fertilizing, replacement of plants when necessary, and the appropriate watering of all landscaping.

---

### 3.040 Parking and Loading

1. **Intent.** This Section prescribes standards for motor vehicle and bicycle parking areas, loading and access drives, and standards for reducing motor vehicle trips per capita to and from development. These standards are intended to ensure that new development accomplishes the following:
  - A. Consistency with the intended physical character;
  - B. Provision of bicycle parking to increase bicycle trips and reduce motor vehicle trips per capita; and
  - C. Appropriately limits, screens, and landscapes motor vehicle parking areas to protect and enhance the environmental and visual quality of the community, enhance privacy, attenuate noise, and control dust.

## 2. General Vehicular Parking Standards

### A. Larger Vehicle Parking

- (1) Trucks, tractors or tractor-trailers having a capacity of more than a 1.5-ton load, front- and rear-end loaders, or any kind of commercial, industrial, agricultural, or transportation vehicles/equipment used primarily for business purposes, shall not be parked or stored in any zone for purposes other than unloading, loading, or delivery services.
- (2) Automobiles, small trucks, vans, and vehicle trailers allowed in conjunction with an approved home occupation (one per home occupation), and recreational vehicles are excluded from the provisions of this [Subsection](#).

### 3. Electric Vehicle Charging. Electric vehicle charging facilities shall be provided in compliance state and local energy codes.

## 4. Parking Spaces, Design and Layout

A. **Parking Facilities.** If off-street parking is located within a carport or garage, the carport or garage shall match the color, material and roofing of the primary building.

B. **Parking Space Dimensions.** The minimum dimensions for residential parking spaces are eight and one-half feet wide by eighteen feet deep.

C. **Access.** On-site parking areas shall be accessed per the following:

- (1) Ingress to and egress from parking spaces shall be from an on-site aisle or driveway, directly from the front, side street, public alley, or rear lane.

### D. Driveways

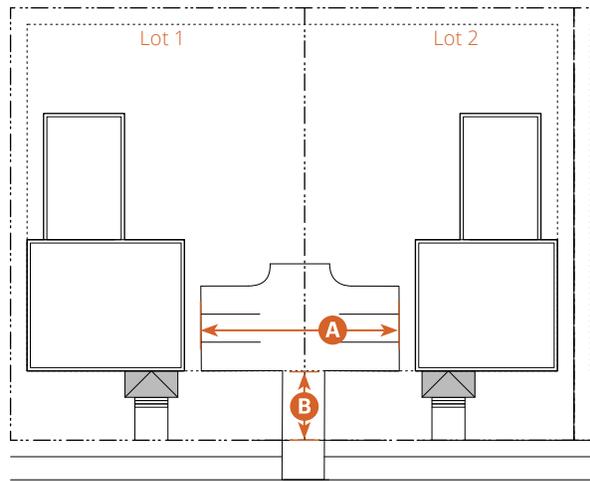
- (1) Driveway area surfacing materials shall be entirely paved with either concrete or pavers. All other surfacing materials, including but not limited to gravel, decomposed granite, and asphalt, are prohibited.
- (2) Access to Driveways
  - (a) Stack access to and from developments of two or fewer dwelling units onto public streets shall be where practical by forward or reverse motion of the vehicle;
  - (b) On lots where driveway(s) cannot be located more than 150 feet from the intersection of two public streets, driveway access shall be located on the side of the lot furthest from the intersection;
  - (c) Driveway access to and from developments of three or more dwelling units onto streets shall be by forward motion of the vehicle;
  - (d) Minimum 50 feet separation between driveways for all uses except developments of two or fewer dwelling units.
- (3) Number of Driveways. Table A (Number of Driveways) specifies the maximum number of driveways for a development site.
- (4) Driveways shall be setback from lot lines as follows:
  - (a) For front access, minimum two feet from side lot lines; and/or
  - (b) For side street access, no less than the minimum rear parking setback per the zone; and/or

- (c) Where driveway access is shared by abutting lots, Subsections (a) and (b) above do not apply; minimum two feet from building(s).

Table 3.040.A: Number of Driveways	
Lot Frontage (Corner Parcel Applies Same Requirements as Side Street)	Maximum Number of Driveways
Up to 150'	1
150' to 299'	2
Each additional 300' over 299'	1

- E. **Parking Techniques.** The following techniques may be applied individually or in combination:
  - (1) Tandem Parking. Required parking may be stacked up to 2 spaces deep when assigned to the same residential unit.
  - (2) Parking Court. Parking spaces in groupings of covered or uncovered spaces or individual garages not in a podium configuration shared between two lots. The maximum width of the parking court is 65 feet measured parallel to the adjacent street/right-of-way. The parking court is accessed from the adjacent street/right-of-way and the maximum width of the entrance to the parking court is determined by [Subsection 6](#) of the zone. See [Figure 3.040.1 \(Parking Court\)](#).
  - (3) Podium Parking. Parking spaces are located in an at-grade garage under the rear and/or interior side of the building or under all of the building except for the required habitable ground floor space. The garage has occupiable space above the garage level. The podium is not visible or exposed along the front or side street building façades.
  - (4) Subterranean Parking. Parking spaces are located below the adjacent finished grade of the building. The subterranean garage is allowed to be up to 2 feet above the adjacent finished grade of the building in compliance with the building form ([Subsection 5 of the zone](#)) and frontage standards ([Chapter #A1](#)).
  - (5) Stacked Parking System. Parking spaces are arranged in a system that provides two to three spaces in the horizontal area of one space. This type of system may only be located within a structure.

**Figure 3.040.1: Parking Court**



- - - Lot Line
- .... Building Setback Line
- A** Width: 65' max.
- B** Parking Court Setback: 15' min.

- F. **Identification as to Purpose and Location.** On-site parking areas of four or more spaces shall include painted lines, wheel stops, or other methods of identifying individual parking spaces and loading areas, while distinguishing such spaces from aisle and other circulation features.
- G. **Materials**
  - (1) Parking area surfacing materials shall be entirely paved with either concrete or pavers. All other surfacing materials, including but not limited to gravel, decomposed granite, and asphalt, are prohibited;
- H. **Landscaping.** The following is required of all parcels in all zones except when otherwise provided for by a development agreement, overlay district, area plan, neighborhood plan, or specific plan.
  - (1) Parking and loading areas shall be screened from adjacent residential zones by a six foot wall or fence.
  - (2) Screening is not required when parking area(s) is adjacent to an alley.
  - (3) Landscaping areas shall integrate stormwater management features per city's Landscaping Standards.
  - (4) For portions of parking areas covered by photo-voltaic solar collectors that also function as shade structures, the minimum standard for trees does not apply.
  - (5) Irrigation required. Landscaped areas shall be provided with a permanent automatic underground irrigation system, or other acceptable irrigation systems as approved by the community development director.
  - (6) Water efficient. Landscaping shall be consistent with city's water-efficient landscape guidelines.

- (7) Mix of materials. Required landscaping shall consist of turf, ground cover, shrubs, and trees in combination to provide attractive screening of parking lots and other paved areas. Required landscaping shall consist of a variety of species and sizes.
- (8) Street frontage. Landscape areas along street frontages shall be measured at right angles to the street and shall be exclusive of any parking overhang.
- (9) Additional landscaping. If the required amount of frontage and/or perimeter landscaped areas is not enough to meet the minimum amount of landscaping required for the zoning district, additional landscaping shall be provided in other locations on the site.

### 3.050 Slope Standards

1. **Intent.** This Section provides the standards for development in all zones on parcels with sloped topography. For the purposes of this Section, sloped topography is any slope of ten percent or more.
  - A. **Table A (Maximum Amount of Sloped Areas Allowed to be Developed)** identifies the amount of developable area for sloped portions of lots. This, in combination with the standards in this Section and the maximum allowed building footprint shall be applied to the design of the sloped portions of lots.

Table 3.050.A: Maximum Amount of Sloped Areas Allowed to be Developed				
Portions of lot with Existing Slope	Development Site <sup>1</sup>			
	Up to 1 acre	Previously Developed	Greenfield	
		>1 acre	1 to 3 acres	>3 acres
0–5.99%	100% max.		100% max.	100% max.
6–9.99%	100% max.	Not to exceed previously developed footprint	70% max.	70% max.
10–14.99%	100% max.		50% max.	25% max.
15–19.99%	75% max.		25% max.	10% max.
20–29.99%	25% max.		5% max.	0% max.
> 30%	0% max.		0% max.	0% max.

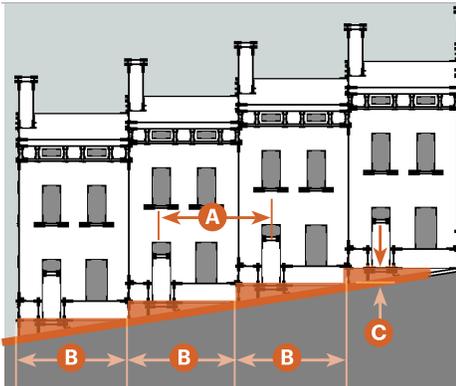
<sup>1</sup> In compliance with the setbacks of the zone, required on-site open space, this Section, and the maximum building footprint standards in Chapter 2 (Overlay Zone Standards).

2. **Building Height**
  - A. **Maximum Building Height.** Building height is regulated by Subsection 5 of the zone. The maximum allowed height of a building shall follow the existing topography of the parcel to ensure that each building is in compliance with the allowed building height.
    - (1) **Figure 1 (Site Grading for Small-to-Medium Detached and Attached Building Forms)** in this Section illustrate allowed and non-allowed site grading methods.
  - B. **Exposed Basements.** Basements do not count toward the maximum stories allowed in the zone if exposed less than half of the basement's story height below the average adjacent finished grade.

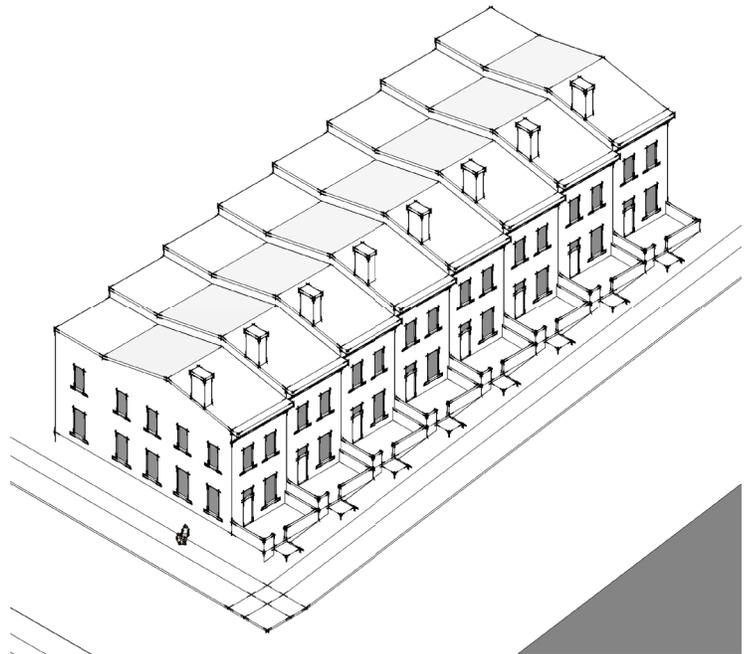
3. **Primary Building, Topography and Required Location.** Sloped topography can present issues with locating the building on a lot in compliance with [Subsection 5](#) of the zone. [Table #E1.030.A \(Adjustments to Standards\)](#) identifies allowed administrative variations for issues arising from sloped topography, subject to the required findings in [Table #E1.030.A \(Adjustments to Standards\)](#)
4. **Grading or Regrading of lots.** When existing lot topography is proposed to be changed, grading shall not result in any of the following:
  - A. Creation of retaining walls or blank walls taller than four feet within required front or side street setbacks;
  - B. Retaining walls on side lot lines taller than three feet;
  - C. Retaining walls on rear lot lines not within the building footprint, taller than 10 feet;
  - D. Building(s) that do not reflect the existing topography of the lot;
  - E. Terraced lots that result in a vertical difference of more than 4 feet between the adjacent right-of-way and the finished grade of the lot;
  - F. Grading beyond the building pad(s) and the required access drive(s);
  - G. Cut exceeding 16 feet in height from top to toe; or
  - H. Cut slope exceeding two horizontal to one vertical.
5. **Graded Slopes**
  - A. Graded slopes shall be screened from view under or behind buildings with landscaping or natural topographic features.
  - B. Graded slopes shall be revegetated with a mixture of grass seed or shrubs as identified by the [USDA Soil Conservation Service](#).
6. **Drainage Facilities.** All proposed drainage facilities shall preserve major drainage channels in their natural state and be designed in such a manner as to minimize soil erosion and to otherwise preserve the public health, safety, and welfare.
7. **Massing.** Buildings on sloped lot shall reflect the existing topography of the lot.
  - A. Buildings with footprints 36 feet wide or less shall have a simple water table element or change in material between the basement and the ground floor.
  - B. Buildings with footprints wider than 36 feet and 2.5 stories or taller shall have a minimum of one story tall defined base. The base shall be defined through the use one of the following methods:
    - (1) Change in material;
    - (2) A continuous horizontal band between the base and upper floors; and/or.
    - (3) Use of a continuous shopfront frontage.
8. **Frontage.** Along front and side street façades, each primary building shall be designed in compliance with the standards for ground floor private frontage as required by [Subsection 4](#) of the zone.

**Figure 3.050.1: Site Grading for Small-to-Medium Detached and Attached Building Forms**

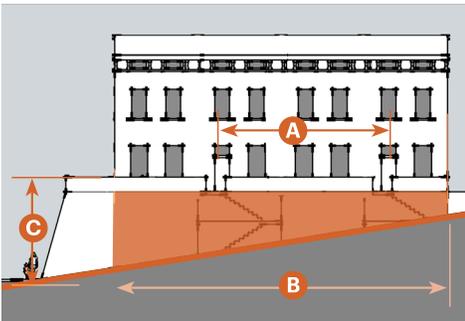
**Allowed.** Grading that results in each new building stepping with the topography of the parcel, and that connects each building with the adjacent street and public realm.



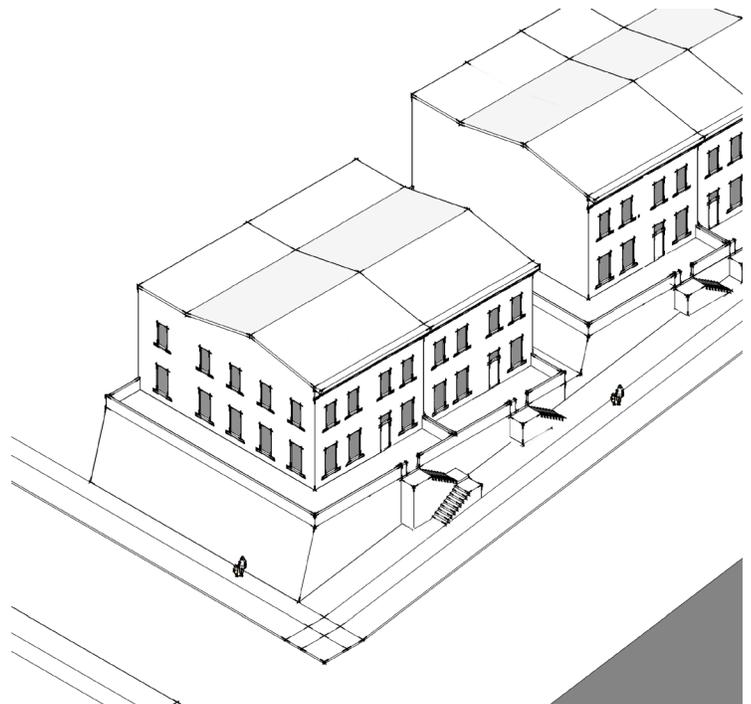
- A Distance between building entries on slopes greater than 10% shall not exceed 50'.
- B Building footprint width steps with slope.
- C Finished grade of terraced lot is less than 4 feet from the adjacent street/right-of-way.



**Not Allowed.** Grading that results in each new building not stepping with the topography of the parcel, and disconnects each building from the adjacent street and public realm.



- A Distance between building entries on slopes greater than 6% exceeds 50'.
- B Building footprint width does not step with slope.
- C Finished grade of terraced lot is more than 4 feet from the adjacent street/right-of-way.



# Chapter #A1: Frontage Types

---

## Sections:

#A1.010	Purpose
#A1.020	Frontage Types
#A1.030	Frontage Type Standards

---

## #A1.010 Purpose

This Chapter provides the standards for frontages. Frontages are the components of a building that provide the transition and interface between the adjacent street or sidewalk and each building entry.

---

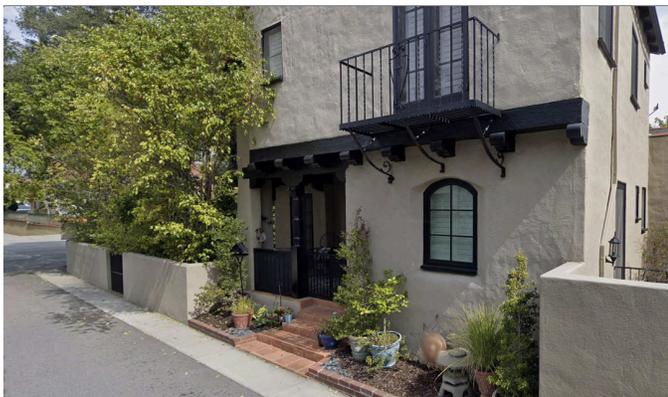
## #A1.020 Frontage Types

1. Each building is required to include one frontage type per building entry along a thoroughfare or public open space as identified in [Table #A1.020.A \(Frontage Types Overview\)](#).
2. Frontage types not listed in [Table #A1.020.A \(Frontage Types Overview\)](#) are not allowed.
3. Each building may have different frontage types in compliance with the allowed types in [Table #A1.020.A \(Frontage Types Overview\)](#).

**Table #A1.020.A: Frontage Types Overview**



**1. Dooryard.** The main facade of the building is set back from the front lot line or abutting resultant lot line, which is defined by a low wall or hedge, creating a small private area between the sidewalk and the facade. Each Dooryard is separated from adjacent Dooryards. The Dooryard is raised or at grade.



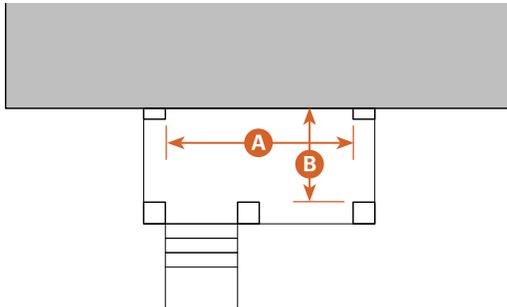
**2. Stoop.** The main facade of the building is near the front lot line or abutting resultant lot line with steps to an elevated entry. The Stoop is elevated above the sidewalk to provide privacy along the sidewalk-facing rooms. Stairs or ramps from the Stoop may lead directly to the sidewalk or may be parallel to the sidewalk.



**3. Porch.** The main facade of the building is set back from the front lot line or abutting resultant lot line with a covered or uncovered structure encroaching into the required setback. The resulting setback area is defined by a fence or hedge to spatially maintain the edge of the street. The Porch is open on three sides, with all habitable space located behind the building setback line.

*General Note: Photos on this page are illustrative, not regulatory.*

## #A1.030 Frontage Type Standards



### A. General Standards

Width, Clear	12' min.	<b>A</b>
Depth, Clear	8' min.	<b>B</b>
Height, Clear	8' min.	
Finish Level above Sidewalk	12" min. <sup>1</sup>	
Pedestrian Access	3' wide min.	

Entry doors are required to face the street unless the frontage is along the side yard facade. If along the side yard facade, the frontage is required to be connected to the sidewalk on the street by a sidewalk extending into the lot.

Frontage types may be utilized to group two entries at a common elevation.

Frontage types are allowed to encroach into the front, side, and side street setbacks in compliance with [Subsection 4 of Overlay Zones Chapter](#).

Where ramps are included, ramps shall connect with the frontage type via a ramp that matches the materials and finishes of the associated building.

<sup>1</sup> Except Dooryard, which is required at grade

### B. Specific Standards

#### 1. Specific to Dooryard

Height of Dooryard Fence/Wall above Finish Level

#### 2. Specific to Stoop

Stoops shall be at least 12" above the adjacent sidewalk.

Stairs may be perpendicular or parallel to the building facade.

Entry door(s) shall be covered or recessed to provide shelter from the elements.

Gate(s) are not allowed.

#### 3. Specific to Terrace

#### Front Bldg.

Finish Level	24" min.;
	4' max.

#### 4. Specific to Porch

Porches shall be open on three sides and have a roof.

*This page intentionally left blank*

# Chapter #E: Administration

---

## Sections:

#E.010	Purpose
#E.020	Administrative Review
#E.030	Adjustments to Standards

---

## #E.010 Purpose

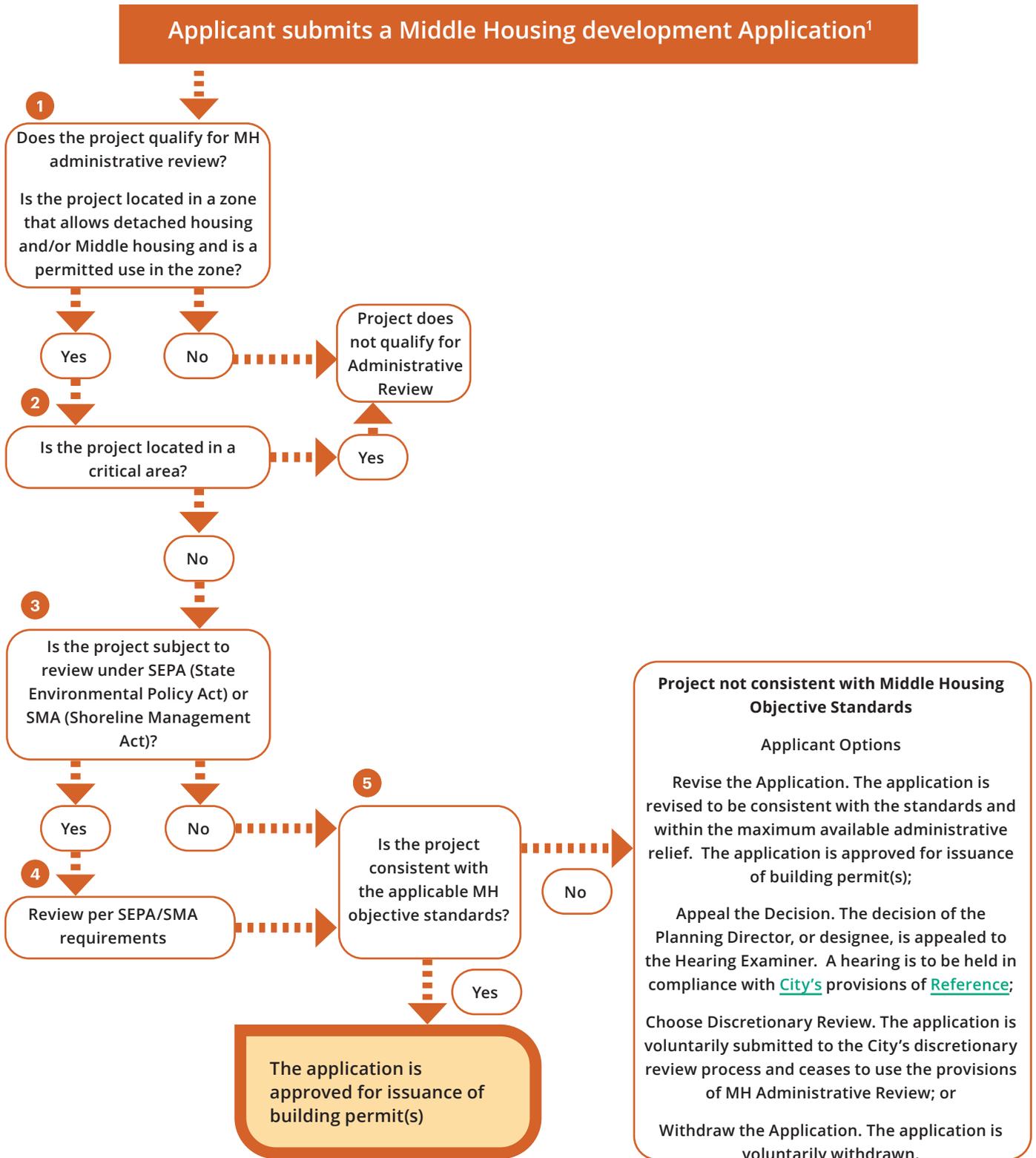
This [Chapter](#) establishes procedures for by-right review and approval of Middle housing applications.

---

## #E.020 Administrative Review

1. **Intent.** The administrative (by-right) review and approval process in this Chapter is intended to streamline the design, approval, and production of Middle Housing.
2. **Applicability.** The provisions of this Chapter apply only to Middle Housing projects. For the purposes of this Chapter, a Middle Housing project is any project that proposes residential units in any of the following Middle Housing forms: Duplex, Cottage Housing, Triplex/Fourplex, Townhouse, Courtyard, and Multiplex as regulated by this Title.
3. **Middle Housing (MH) Administrative Review.** The Middle Housing review process is a development permit process whereby an application is reviewed, approved, or denied by the planning director or the planning director's designee based solely on objective design and development standards without a public meeting or hearing, unless such review is otherwise required by state or federal law, or the structure is a designated landmark or within a designated historic district established under a local preservation ordinance.

Figure #E.020.1: Middle Housing Administrative Review



<sup>1</sup> See City's application submittal requirements for required plans and information.

# Code Review Guide

The following graphic is intended as a summary guide. Please refer to the [City's](#) permit procedures for all necessary information.

1
Determine your Maximum Zoning Envelope

<p><b>Identify your zone</b>, see <a href="#">Chapter 2 (Zones)</a></p>	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="border-bottom: 1px solid #ccc; padding: 5px 0;">a. Comply with building placement standards</td> <td style="border-bottom: 1px solid #ccc; padding: 5px 0;"><a href="#">Subsection 2</a> of the zone</td> </tr> <tr> <td style="border-bottom: 1px solid #ccc; padding: 5px 0;">b. Comply with building footprint standards</td> <td style="border-bottom: 1px solid #ccc; padding: 5px 0;"><a href="#">Subsection 3</a> of the zone</td> </tr> <tr> <td style="border-bottom: 1px solid #ccc; padding: 5px 0;">c. Select your private frontage type</td> <td style="border-bottom: 1px solid #ccc; padding: 5px 0;"><a href="#">Subsection 4</a> of the zone</td> </tr> <tr> <td style="border-bottom: 1px solid #ccc; padding: 5px 0;">d. Comply with building form and height standards</td> <td style="border-bottom: 1px solid #ccc; padding: 5px 0;"><a href="#">Subsection 5</a> of the zone</td> </tr> <tr> <td style="border-bottom: 1px solid #ccc; padding: 5px 0;">e. Comply with parking standards</td> <td style="border-bottom: 1px solid #ccc; padding: 5px 0;"><a href="#">Subsection 6</a> of the zone</td> </tr> <tr> <td style="padding: 5px 0;">f. If multiple buildings on a site</td> <td style="padding: 5px 0;"><a href="#">Section 2.070</a></td> </tr> </table>	a. Comply with building placement standards	<a href="#">Subsection 2</a> of the zone	b. Comply with building footprint standards	<a href="#">Subsection 3</a> of the zone	c. Select your private frontage type	<a href="#">Subsection 4</a> of the zone	d. Comply with building form and height standards	<a href="#">Subsection 5</a> of the zone	e. Comply with parking standards	<a href="#">Subsection 6</a> of the zone	f. If multiple buildings on a site	<a href="#">Section 2.070</a>	
a. Comply with building placement standards	<a href="#">Subsection 2</a> of the zone													
b. Comply with building footprint standards	<a href="#">Subsection 3</a> of the zone													
c. Select your private frontage type	<a href="#">Subsection 4</a> of the zone													
d. Comply with building form and height standards	<a href="#">Subsection 5</a> of the zone													
e. Comply with parking standards	<a href="#">Subsection 6</a> of the zone													
f. If multiple buildings on a site	<a href="#">Section 2.070</a>													

2
Connect Ground Floor to Adjacent Streetscape

<p><b>Apply your private frontage type(s)</b>, see <a href="#">Chapter #A.1 (Frontage Types)</a></p>	<p>Based on your selected private frontage type(s), comply with the standards</p>
--	---

3
Proceed to Approval Process

<p><b>If adjustments are proposed</b>, see <a href="#">Section #E.030 (Adjustments to Standards)</a></p>	<p>Meet the required findings to be eligible for the adjustment to the standard(s)</p>	<p><a href="#">Section #E.030 (Adjustments to Standards)</a></p>
<p><b>Identify your approval procedure</b>, see <a href="#">Chapter #E.020 (Administration)</a></p>	<p>Comply with the procedure standards</p>	<p><a href="#">Section #E.020 (Administrative Review)</a></p>

---

## #E.030 Adjustments to Standards

1. **Purpose.** This [Section](#) is intended to allow for minor deviations from certain standards for specific situations that make compliance not possible because of the prescriptive nature of the standards.
2. **Applicability.** This [Section](#) applies to Middle housing developments. The [Director, or Deignee](#), may grant an Adjustment for only the standards identified as follows:
  - A. Lots less than 10% slope. See [Table A \(Adjustments to Standards for Lots Less Than 10% Slopes\)](#).
  - B. Lots over 10% slope. See [Table B \(Adjustments to Standards for Lots Over 10% Slopes\)](#).
3. **Procedures.** Adjustment requests shall be reviewed and processed as follows:
  - A. Adjustments are to be processed consistent with Figure #E.020.1 (Middle Housing Review).
  - B. If an Adjustment is requested that exceeds the allowed administrative relief in Table A or Table B, the adjustment will be processed only up to the amount identified in the relevant Table.
  - C. Adjustment requests involving any of the following features (i.e., historic building/feature, tree, rock outcrop, and/or utility infrastructure) shall include existing conditions documentation identifying the feature(s).
  - D. Depending on the unique characteristics and dimensions on an individual parcel, it is possible that the full development potential of the zone may not be achievable even after applying the allowed adjustments in this Section.

### NOTE to City:

1. Please review and revise the required findings and the specific amounts of increase or decrease in the standards according to your specific needs.

---

<sup>1</sup>Standards for private frontage apply [[See Chapter #A1 \(Frontage Types\)](#)], and any adjustment shall not preclude the application of a private frontage type.

Table #E1.030.A: Adjustments to Standards for Lots with Less than 10% Slope

Administrative Relief Type	Required Findings	Allowed Administrative Relief	Reference to Standard
<b>1. Existing Lot Dimensions</b>			
a. <b>Depth or Width</b> Decrease in the minimum required	i. An existing historic building/feature, tree, rock outcrop, and/or utility infrastructure prevents compliance with the standard.	Up to 10% of the standard	<a href="#">Subsection 2</a> of the zone
<b>2. Building Setbacks</b>			
a. <b>Front<sup>1</sup>, Side Street<sup>1</sup>, Side or Rear</b> Increase or decrease in the minimum required setback for a primary building	i. An existing historic building/feature, tree, rock outcrop, and/or utility infrastructure prevents compliance with the standard. <hr/> ii. The existing lot is 80' or less in depth, preventing compliance with the rear setback standard.	Front, Rear, or Side Street: up to 25% of the standard;  Side Street: up to 25% of the standard or 3' min.	<a href="#">Subsection 3</a> of the zone

<sup>1</sup>Standards for private frontage apply [[See Chapter #A1 \(Frontage Types\)](#)], and any adjustment shall not preclude the application of a private frontage type.

**Table #E.x.030.A: Adjustments to Standards for Lots with Less than 10% Slope (Continued)**

Administrative Relief Type	Required Findings	Allowed Administrative Relief	Reference to Standard
<b>3. Building Footprint</b>			
a. <b>Size of Main Body<sup>1</sup></b> Increase in the allowed width or length	i. An existing historic building/feature, tree, rock outcrop, and/or utility infrastructure prevents compliance with the standard.	Up to 10% of the standard	<a href="#">Subsection 3</a> of the zone
<b>4. Parking Location</b>			
a. <b>Front or Side Street Setback</b> Reduction in the required parking setback	i. An existing historic building/feature, tree, rock outcrop, and/or utility infrastructure prevents compliance with the standard.	Up to 10% of the standard when the required setback is 20' or more.	<a href="#">Subsection 6</a> of the zone
	ii. The driveway is in compliance with the zone standards.	Up to 20% of the standard when the required setback is less than 20'.	
	iii. The ground floor space remains habitable in compliance with the zone standards, as allowed to be adjusted by this Section.		<a href="#">Subsection 5</a> of the zone

**Table #E.x.030.B: Adjustments to Standards for Lots Over 10% Slope**

Administrative Relief Type	Required Findings	Allowed Administrative Relief	Reference to Standard
<b>1. Building Setbacks</b>			
a. <b>Front<sup>1</sup>, Side Street<sup>1</sup>, Side or Rear</b> Decrease in minimum required setback areas for primary building	i. Existing slope exceeds 15% grade within at least the first 30' of lot depth. <hr/> ii. An existing historic building/feature, tree, rock outcrop, and/or utility infrastructure prevents compliance with the standard. <hr/> iii. The existing lot depth is less than 80'.	Reduction in the minimum setback to within 5' of the lot line. Where side street setback is 5' minimum, reduction in the minimum setback to within 3' of the lot line.	<a href="#">Subsection 2</a> of the zone

<sup>1</sup>Standards for private frontage apply [[See Chapter #A1 \(Frontage Types\)](#)], and any adjustment shall not preclude the application of a private frontage type.

**Table #E.x.030.B: Adjustments to Standards for Lots Over 10% Slope (Continued)**

Administrative Relief Type	Required Findings	Allowed Administrative Relief	Reference to Standard
<b>2. Building Footprint</b>			
a. <b>Size of Main Body<sup>1</sup> or Wing(s)</b> Increase in the allowed width or length	i. Existing slope exceeds 15% grade for at least 50% of the lot width or the first 30' of the lot depth. <hr/> ii. The building is in compliance with the setbacks of the zone or as allowed to be adjusted by this Section.	Up to 25% of the standard	<a href="#">Subsection 3</a> of the zone
<b>3. Site Grading</b>			
a. <b>Retaining Wall (Height)</b> Increase in maximum retaining wall height or length	i. Existing slope exceeds an average 15% grade from the front to the rear of the lot. <hr/> ii. The retaining wall or series of retaining walls cannot be seen from the adjacent public sidewalk or adjacent property. <hr/> iii. Retaining walls not within the building footprint are less than 50' in total length along any lot line.	Increase in retaining wall height up to 12' along rear and/or side lot line(s); Increase in retaining wall height up to 20' within the building footprint	<a href="#">Subsection 03.050</a>

<sup>1</sup>Standards for private frontage apply [[See Chapter #A1 \(Frontage Types\)](#)], and any adjustment shall not preclude the application of a private frontage type.

Table #E.x.030.B: Adjustments to Standards for Lots Over 10% Slope (Continued)

Administrative Relief Type	Required Findings	Allowed Administrative Relief	Reference to Standard
<b>4. Parking Location Setbacks</b>			
a. <b>Front or Side Street</b> Reduction in a required parking setback.	One or more of the following techniques are applied, as allowed by this <a href="#">Section</a> :		
	i. Surface: Parking is uncovered and located between the building and the street due to existing lot depth that is less than 80'	Front Setback: The parking location setbacks standards do not apply. Up to 75% of the lot width is allowed to be used for parking for a maximum depth of one parking space.	Subsection 6 of the zone; Subsection 3 of Chapter 2
	ii. Podium: Parking under primary building is enclosed and access is only from one side of the lot, the lot is 150' or less in width. Habitable space, in compliance with <a href="#">Subsection 5</a> of the zone as allowed to be reduced by this Section, is between the front of the building and the parking spaces. The parking garage access is not greater than 10' in width.	Front Setback: Reduction to 18' behind the primary building facade.  Side Street Setback: Reduction to 5' behind the primary building facade at least 18' from the front of the building.	

<sup>1</sup>Standards for private frontage apply [[See Chapter #A1 \(Frontage Types\)](#)], and any adjustment shall not preclude the application of a private frontage type.

*This page intentionally left blank*

# Chapter #F1: Definitions

---

## Sections:

#F1.010	Purpose
#F1.020	Definitions
#F1.030	Measurement Methods

---

## #F1.010 Purpose

This [Chapter](#) provides definitions for specialized terms and phrases used in this Toolkit. All other applicable definitions in [Section #F1.xx.xxx \(Definitions\)](#) of [Article xxx \(City Zoning Code\)](#) apply.

---

## #F1.020 Definitions

### A. Definitions

**Abutting.** Having a common property line or district boundary, or separated by a private or public street or easement.

**Access or Service Drive.** A public or private way of paving or right-of-way of not more than 30 feet affording means of access to property.

**Accessory Structure (syn. Accessory Building).** A structure physically detached from, secondary and incidental to, and commonly associated with a primary structure or use on the same site. Accessory structures normally associated with a residential use property include, but are not limited to: garages (unenclosed or enclosed) for the storage of automobiles (including incidental restoration and repair), personal recreational vehicles, and other personal property; studios; workshops; greenhouses (noncommercial); enclosed cabanas and pool houses; and storage sheds.

**Adjacent.** Sharing a common lot line, or having lot lines separated only by an alley.

**Alley.** A public or private way to be used primarily for vehicular access to the back or side of a lot of real property that otherwise abuts a street.

**Architectural Feature.** Exterior building element intended to provide ornamentation to the building massing including, but not limited to: eaves, cornices, bay windows, window and door surrounds, light fixtures, canopies, and balconies.

**Attached Building or Structure.** Any building or structure which is structurally a part of or has a common wall and/or continuous roof with a primary building or structure, except where such connection is a breezeway or walkway incidental to and not a necessary part of the construction of the primary building.

**Average Slope.** The result of dividing the length of a slope by the difference in elevation at the top and bottom of the slope. See [Subsection #F1.12.030.1.C](#).

**Awning.** A roof or cover which projects from a wall of a building over a window or door, made of canvas, aluminum, or similar material, which may be fixed in place or be retractable.

## B. Definitions

**Basement.** A story whose floor is more than 12 inches, but not more than half of its story height below the average level of the adjoining finished grade (as distinguished from a "cellar," which is a story more than one-half below such level). A basement, when used as a dwelling, shall not be counted as a story for purposes of height measurement.

**Bay.** Any division of a building between vertical lines or planes, especially the entire space included between two adjacent supports. See [Subsection #F1.12.030.4](#) for measurement method.

**Bay Window.** An architectural projection from the building cantilevered from the facade, consisting of one or more stories in height, containing at least 60 percent glass area. Window opening that includes an opening on each side.

**Block-Scale, Building.** A building that is individually as large as a block or individual buildings collectively arranged along a street to form a continuous facade as long as most or all of a block.

**Building.** A structure consisting of one or more foundations, floors, walls, and roofs that surround an interior space, and may include exterior appurtenant structures including, but not limited to, porches and decks.

**Buildable Area.** The horizontal area in which a building is allowed to be constructed.

**Building Elevation.** The exterior wall of a building not adjacent to a public right-of-way, the front or side along a private street, or public open space.

**Building Entrance.** A point of pedestrian ingress and egress to the front of a building along the sidewalk of the street immediately adjacent to the building.

**Building, Existing.** See "Structure, Existing."

**Building Facade.** The exterior wall of a building adjacent to a street, the front or side along a private street, or public open space.

1. **Building Facade, Front.** The exterior wall of a building adjacent to a street or public open space.
2. **Building Facade, Side Street.** The exterior wall of a building adjacent to a side street.
3. **Building Facade, Interior Side.** The exterior wall of a building adjacent to the interior lot line(s).
4. **Building Facade, Rear.** The exterior wall of a building opposite the front.

**Building Form.** The overall shape and dimensions of a building.

**Building Frontage.** The facade(s) along the front and side street of the lot.

**Building Frontage, Principal.** The facade along the front of the lot, typically the narrower of sides and identified by an address.

**Building, Primary.** The building that serves as the focal point for all activities related to the principal use of the lot.

**Building, Setback.** See "Setback, Building."

**By-Right, Approval.** Approval by administrative staff of certain improvements or developments not requiring further review and in compliance with all applicable standards.

### C. Definitions

**Chamfered.** A transitional edge between two faces of an object. Sometimes defined as a form of bevel, it is often created at a 45° angle between two adjoining right-angled faces.

**Public Open Space.** An outdoor area dedicated for public gathering and civic activities. See [Section #D.10.040 \(General to Public Open Space\)](#).

**Corner Element.** A physical distinction in a building at the corner of two streets or a street and public space.

**Corner Entry.** An entrance located on the corner of a building.

**Cornice.** The crown molding of a building or element.

**Courtyard (syn. Court).** An unroofed area that is completely or partially enclosed by walls or buildings on at least two sides and often shared by multiple units, not including off-street parking. See [Subsection #F1.12.030.3.A.\(4\)](#) for measurement method.

#### Coverage

1. **Coverage, Accessory Structures.** The sum of the footprint area of all structures on a lot.
2. **Coverage, Building.** The floor area of the largest story of a building divided by the total lot area.
3. **Coverage, Lot.** The portion of the lot expressed as a percentage that is covered in buildings or other roofed structures (e.g. porches, covered parking).

**Crawl Space.** A shallow unfinished uninhabitable space beneath the floor or under the roof of a building, that provides access to utility, structural, and other building components not readily accessible from the habitable portions of the building.

### D. Definitions

**Depth, Ground-Floor Space.** The distance from the street-facing facade to the rear interior wall of the ground-floor space available to an allowed use.

**Detached.** Separate or unconnected.

**Development Site.** The parcel(s) or portion(s) thereof on which proposed structures and improvements are to be constructed.

**Director.** Planning Director, Community Development Director or designee..

**Distance Between Entries.** The horizontal distance between entrances to a building or buildings, measured parallel to the facade.

**Driveway.** A vehicular lane within a lot, or shared between two lots, usually leading to a garage, other parking, or loading area.

**Dwelling, Multiple.** A building designed or used for three or more dwelling units.

**Dwelling Unit.** A room or group of internally connected rooms that have sleeping, cooking, eating, and sanitation facilities, but not more than one kitchen, which constitute an independent housekeeping unit, occupied by or intended for one household on a long-term basis.

**Dwelling Unit, Stacked.** A dwelling unit situated immediately above or below another dwelling unit.

## E. Definitions

**Eave.** The edge of the roof that overhangs the face of the adjoining wall. The bottom of the eave can range from exposed rafters (“open eave”) to a finished horizontal surface (“closed eave”).

**Elevated Ground Floor.** A ground floor situated above the grade plane of the adjacent sidewalk.

**Encroachment.** Any architectural feature, structure, or structural element—including, but not limited to a fence, garden wall, porch, stoop, balcony, bay window, terrace, or deck—that breaks the plane of a vertical or horizontal regulatory limit by extending into a setback.

**Entry.** An opening, including, but not limited to, a door, passage, or gate, that allows access to a building.

1. **Entry, Primary.** The opening that allows access to a building directly from the sidewalk along the front facade.
2. **Entry, Service.** An entrance located toward or at the rear of the building intended for the delivery of goods and removal of refuse.

**Existing Structure.** For the purpose of defining an allowable space that can be converted to an accessory dwelling unit means within the four walls and roofline of any structure existing on or after Month, Year that can be made safely habitable in compliance with local building codes at the determination of the Building Official regardless of any noncompliance with this Toolkit.

## F. Definitions

**Facade.** See "Building Facade."

**Fence.** A structure, made of wood, metal, masonry, or other material, typically used to screen, enclose, or divide open space for a setback or along a lot line.

**Finish Level, Ground Floor.** Height difference between the finished floor on the ground floor and the adjacent sidewalk. In the case of a terrace frontage that serves as the public right-of-way, the floor finish level is the height of the walk above the adjacent street. Standards for ground floor finish level for ground floor residential uses do not apply to ground floor lobbies and common areas in multi-unit buildings.

**Floor Area.** The sum of the gross areas of all stories of a building, measured from the exterior faces of the exterior walls. The floor area shall include any building that has a roof and is enclosed so as to provide shelter from the elements on three or more sides.

**Floor Coverage.** See “Coverage.”

**Footprint, Building.** The outline of the area of ground covered by the foundations of a building or structure.

**Freestanding Wall.** A wall that is separate from a building and supported by independent means.

**Front.** See "Lot Line, Front."

**Front Loaded.** (Front Access). Lots that provide vehicular access from the front of the lot.

**Frontage, Private.** The area and/or building element (e.g. porch) between the building facade and the back of the sidewalk abutting a street (public or private) or public open space.

**Frontage, Public.** The area between the on-street parking and the back of the sidewalk.

**Frontage Type.** A physical element configured to connect the building facade to the back of the sidewalk abutting a street or public open space depending on the intended physical character of the zone.

## G. Definitions

**Gable.** A vertical wall in the shape of a triangle formed between the cornice or eave and the ridge of the roof.

**Ganged.** Refers to windows designed/found in an array of two or more.

**Glazing.** Openings in a building in which glass is installed.

**Grade.** The finished ground level at any point along the exterior walls of a structure. Where walls are parallel to and within five feet of a sidewalk, alley or other public way, the level above ground shall be measured at the elevation of the sidewalk, alley or public way. Also see "Grade, Finished."

**Grade, Finished.** The final ground surface elevation after the completion of grading or other site preparation related to a proposed development that conforms to an approved [Grading Permit](#) or [Building Permit](#). In cases where substantial fill is proposed, "finished grade" shall be established by the Director consistent with lots in the immediate vicinity and shall not be, nor have been artificially raised to gain additional building height. Also see "Grade."

**Grade, Pre-Development.** The grade of a lot prior to any site improvements related to the proposed development.

**Grading.** Earthwork performed to alter the natural contours of an area.

**Ground Floor.** The floor of a building located nearest to the level of the ground around the building.

**Gross Floor Area.** The total floor area inside the building envelope, including the external walls, but not including the roof.

## H. Definitions

**Habitable Space.** The portion of a building that is suitable for human occupancy.

**Half Story.** See "Story."

**Hardscape.** Paving, decks, patios, and other hard, non-porous surfaces.

### Height

1. **Height, Number of Stories.** The number of stories in a structure allowed above adjacent finished grade. See "Stories."
2. **Height, Overall.** The vertical distance between adjacent finished grade and the highest part of the structure directly above. See [Subsection #F1.12.030.3.A.\(6\)](#) for measurement method.
3. **Height, Highest Eave/parapet.** The vertical distance between adjacent finished grade and the highest eave or parapet of the building. See [Subsection #F1.12.030.3.A.\(6\)](#) for measurement method.

**House-Scale Building.** A small or medium Middle Housing building that is the size of a small-to-large house and detached from other buildings, typically ranging from 24 feet to as large as 80 feet overall.

## I. Definitions

**Impervious.** The area of any surface that prevents the infiltration of water into the ground including, but not limited to, roads, parking areas, concrete, and buildings.

**Improved.** An area which has been paved or planted and is permanently maintained as such.

**Improvement.** The product of any modification to a site structure or building, not including maintenance or repairs.

**Infill.** The development of vacant land that was bypassed by earlier waves of development and is now largely surrounded by developed land.

#### J. Definitions

*No specialized terms beginning with the letter J are defined at this time.*

#### K. Definitions

*No specialized terms beginning with the letter K are defined at this time.*

#### L. Definitions

**L-Shaped (syn. Ell).** A horizontal form for the main body of a building or a massing composition, also referred to as an "Ell" which is an extension at a right angle to the length of a building.

**Landing.** A level area at the top or bottom of a staircase or between one flight of stairs and another.

**Landscaping.** Flowers, shrubs, trees, or other decorative material of natural origin.

**Lintel.** A horizontal architectural member spanning and usually carrying the load above an opening.

**Living Area.** The interior habitable area of a dwelling unit, including basements and attics, but not including garages or any accessory structure.

**Lot (syn. Parcel).** A portion of land separate from others and delineated or described as a single integral unit on a subdivision map or by other map approved in compliance with the [Subdivision Map Act \(§66410 et seq.\)](#).

#### M. Definitions

**Main Body.** The primary massing of a primary building. See Subsection #F1.12.030.3.A.(1) for measurement method.

**Main Facade.** The front facade of a building.

**Major.** Having a greater size, scope, effect, characteristic, or quality relative to the other corresponding sizes, scopes, effects, characteristics, or qualities; or being the greater of two or more.

**Massing.** The overall shape or arrangement of the bulk or volume of a building and structures.

**Minor.** Having a lesser size, scope, effect, characteristic, or quality relative to the average size, scope, effect, characteristic, or qualities; or being the lesser of two or more.

**Multi-Unit Building.** A residential or mixed-use building in which there exists three or more separate units with direct exterior access and in which there are appurtenant shared facilities. Distinguishing characteristics of a multi-tenant building or use may, but need not, include common ownership of the real property upon which the building or use is located, common wall construction, and multiple occupant use of a single structure.

#### N. Definitions

*No specialized terms beginning with the letter N are defined at this time.*

#### O. Definitions

**Off-Street Parking.** The area(s) located on a lot available for temporary storage of passenger vehicles, including a public or private parking lot where parking is the principal use of the property.

**Open Space Easement.** See "Scenic Easement or Open Space Easement."

#### P. Definitions

**Parapet.** A low wall along the edge of a roof or the portion of a wall that extends above the roof line.

**Parcel (syn. Lot).** A portion of land separate from others and delineated or described as a single integral unit on a subdivision map or by other map approved in compliance with the [Subdivision Map Act \(§66410 et seq.\)](#).

**Pediment.** A triangular space that forms the gable of a low-pitched roof and that is usually filled with relief sculpture in classical architecture.

**Planning Commission.** The [City's Planning Commission or Planning Board](#).

**Primary Building.** See "Building, Primary."

**Public Street.** A street for which the right-of-way is owned by or offered for dedication to the public and accepted by the [City](#).

#### Q. Definitions

*No specialized terms beginning with the letter Q are defined at this time.*

#### R. Definitions

**Rake.** The sloped end portion of a roof. Rakes may be close to, or extend from the building to allow for an overhang. Roof rakes can be exposed or closed.

**Rear.** Opposite of front.

**Rear-Loaded (syn. Rear Access).** Vehicular access from the rear of the lot.

**Recessed Entry.** An entrance to a building that is set back from the facade of the building.

**Review Authority.** The individual or official [City](#) body ([the Community Development Director, Planning Commission, or City Council](#)) identified by this Toolkit as having the responsibility and authority to review, and approve or deny the permit applications described in [Chapter 11 \(Administration\)](#).

#### S. Definitions

**Setback.** The distance by which a structure, parking area, or other development feature is separated from a lot line, other structure, or development feature

1. **Setback, Front.** An area extending across the full width of the lot between the front lot line and the primary structure.
2. **Setback, Rear.** An area extending the full width of the lot between a rear lot line and the primary structure.
3. **Setback, Side.** An area between a side lot line and the primary structure extending between the front and rear setback.

**Setback, Building.** The mandatory clear distance between a lot line and a building.

**Setback, Parking.** The mandatory clear distance between a lot line and parking.

**Shared Parking.** Any parking spaces assigned to more than one user, where different persons utilizing the spaces are unlikely to need the spaces at the same time of day.

**Shared Yard.** A portion of a development held in common and/or single ownership, not reserved for the exclusive use or benefit of an individual tenant or owner, and is available for use by all persons who reside or work in the building or on the lot. Excludes the following:

1. Required front setbacks;
2. Areas devoted to parking, driveways, and maneuvering areas;
3. Open space at grade less than 10 feet in its minimum dimension;

**Sidewalk.** A paved area along a street intended exclusively for pedestrian use and often installed between a street and lot frontages.

**Site Plan.** A base sheet that includes the basic information that will appear on all plans including, but not limited to, natural features, roads, buildings, or other structures to remain on-site.

**Street, Front.** Street located along the front lot line of a parcel.

**Street, Side.** Street located along a lot line of a parcel that is not along the front lot line.

**Story.** The portion of a building included between the surface of any floor and the surface of the next floor above it, or if there is no floor above, the space between the floor and the ceiling above. If the finished floor level directly above a basement or cellar is more than six feet above grade for more than 50 percent of the total perimeter, such basement or cellar shall be considered a story.

1. **Story, First.** The lowest story or the ground story of any building, the floor of which is not more than 12 inches below the average contact ground level at the exterior walls of the building.
2. **Story, Half (syn. Attic Story).** A conditioned space that rests primarily underneath the slope of the roof, usually having dormer windows. The half story is identified by the ".5" in the description of maximum height (e.g., 2.5). A half-story is considered a story when its top wall plates, on at least two opposite exterior walls, are four feet or more above the floor of such story.
3. **Story, Mezzanine.** A story which covers one-third or less of the area of the story directly underneath it. A mezzanine story shall be deemed a full story when it covers more than one-third of the area of the story directly underneath said mezzanine story.

**Street.** A public or permanent private thoroughfare which affords a primary means of access to lot(s).

1. **Street, Front.** Street located along the front lot line.
2. **Street, Side.** Street located along a lot line that is not the front lot line

**Street Frontage.** The lineal length of that portion of a lot abutting a street.

**Street Frontage, Principal.** The length of the property line of any one premise parallel to and along the public right-of-way which it borders and which is identified by an officially assigned street address.

**Street Tree.** A tree planted in open spaces, parkways, sidewalk areas, easements, streets, and rights-of-way.

## T. Definitions

**Tandem Parking.** A parking space deep enough to allow two cars to park, one behind the other.

**Thoroughfare.** A way for use by vehicular, pedestrian, and bicycle traffic that provides access to lots and open spaces, and that incorporates vehicular lanes and public frontages.

**Transit Stop.** A location where buses stop to load and unload passengers. A transit stop may or may not include a shelter or a pullout.

**Transom.** Refers to a window; a window above a door or other window built on and commonly hinged to a transom

#### U. Definitions

**Understory.** The smaller trees and shrubs below the canopy of large trees.

**Unit.** See "Dwelling Unit."

**Upper Floor.** A floor in a building containing habitable space that is located above the ground floor.

#### V. Definitions

**Visitability.** A basic level of accessibility that enables persons with disabilities to visit others in their dwellings by providing at least one accessible means of egress/ingress for each residential unit.

#### W. Definitions

**Walkway.** A paved way located on one or more lots, used for pedestrian traffic, and used exclusively by the lot owner(s), their guests, and invitees.

#### X. Definitions

*No specialized terms beginning with the letter Y are defined at this time.*

#### Y. Definitions

**Yard.** See "Setback."

#### Z. Definitions

**Zero Lot Line.** A building or structure that is placed on the property line.

**Zone Map.** The zoning map(s) of the [City of xxx, Washington](#), together with all amendments.

**Zoning Administrator.** The duly designated and appointed zoning administrator of the [City](#).

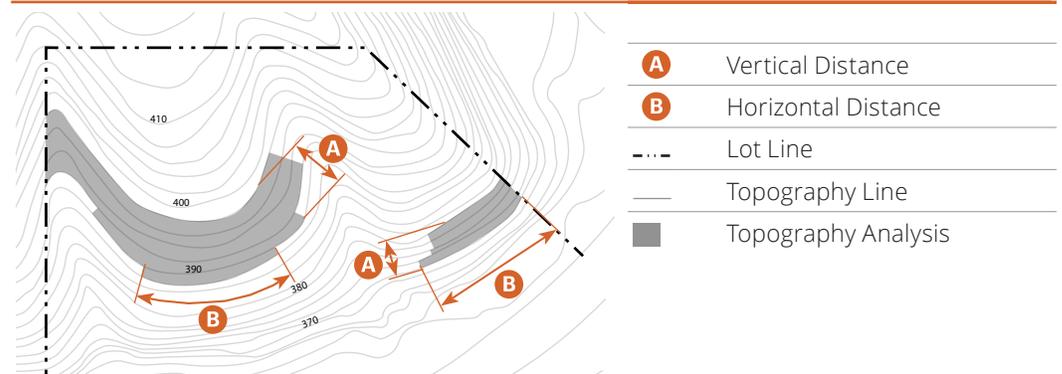
**Zoning Code.** The Zoning Code of the [City](#) specified in [Title x](#).

## #F1.030 Measurement Methods

### 1. Sloped Lots

- A. **Applicability.** The standards of [Section 3.03.050 \(Slope Standards\)](#) apply to sloped lots. Slope is measured by taking the vertical distance, or "rise", over the horizontal distance, or "run." The resulting fraction, or percentage, is the "slope" of the land. Sloped lots are those areas of land that exhibit the slopes of ten percent and greater.
- B. **Methodology.** The following methodology shall be used to identify steep slopes protected in compliance with this [Chapter](#). An example of the methodology is shown in [Figure 1 \(Example for Defining Sloped Lots\)](#).
  - (1) **Steep Slope Determination.** To qualify as a steep slope, the slope shall be at least ten percent with a 10-foot vertical drop over a 100-foot horizontal distance parallel to at least one common contour line. The horizontal measurement shall cross property lines to establish if a steep slope may exist on a lot (i.e., the 100-foot minimum width calculation shall cross a property line if necessary to achieve this minimum width).

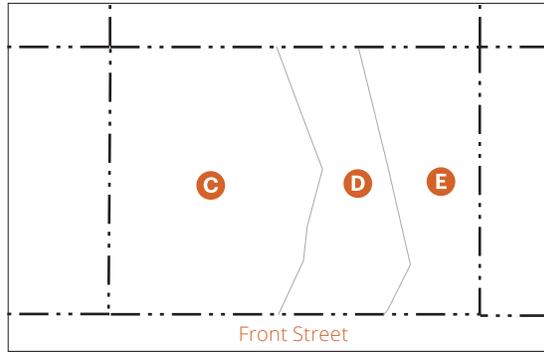
**Figure #F1.12.030.1: Example for Defining Sloped Lots**



- (2) **Area Calculation.** Step slope areas are calculated based on the square feet of qualifying steep slope on the lot as determined in [Subsection 1](#) above. There is no minimum square footage for each slope area.
  - (a) First, calculate the square footage of slopes 30 percent and greater. Determine the square footage of each area as well as the sum of these areas for the total site.
  - (b) Second, calculate the square footage of slopes between 29 and 25 percent. Determine the square footage of each area as well as the sum of these areas for the total site.
  - (c) Third, calculate the square footage of slopes between 24 and 20 percent. Determine the square footage of each area as well as the sum of these areas for the total site.
  - (d) Fourth, calculate the square footage of slopes between 15 percent and 19 percent. Determine the square footage of each area as well as the sum of these areas for the total site.
  - (e) Last, calculate the square footage of slopes between 10 and 14 percent. Determine the square footage of each area as well as the sum of these areas for the total site.
- (3) **Steep Slope Resource Area.** Based on the area calculations in [Subsection 2](#), above, [Table 3.05.050.A \(Amount of Sloped Areas Allowed to be Developed\)](#) identifies the percentage of

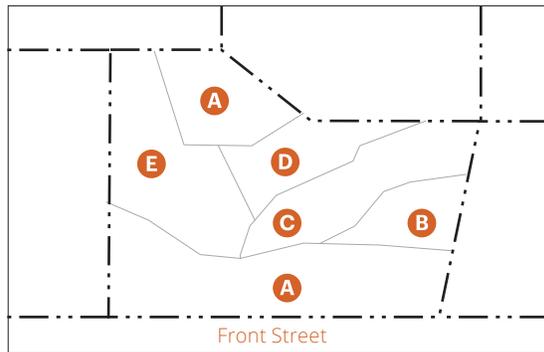
sloped area that is developable. Figures 2 and 3 illustrate examples of the calculated slopes and the corresponding percentage allowed for development.

**Figure #F1.030.2: Example for a Sloped Development Site (<1 acre)**



Key	Existing Slope	Developable Area <sup>1</sup>
<b>A</b>	0-5.99%	NA
<b>B</b>	6-9.99%	NA
<b>C</b>	10-14.99%	100% max.
<b>D</b>	15-19.99%	90% max.
<b>E</b>	>20%	0% max.
- - -	Lot Line	
—	Slope Designations	

**Figure #F1.030.3: Example for a Sloped Development Site (>1 acre)**



Key	Existing Slope	Developable Area <sup>1</sup>
<b>A</b>	0-5.99%	100% max.
<b>B</b>	6-9.99%	70% max.
<b>C</b>	10-14.99%	25% max.
<b>D</b>	15-19.99%	5% max.
<b>E</b>	>20%	0% max.
- - -	Lot Line	
—	Slope Designation	

<sup>1</sup> In compliance with the setbacks of the zone, required on-site open space, this Section, and the maximum building footprint standards in Chapter 2 (Building Placement Standards).

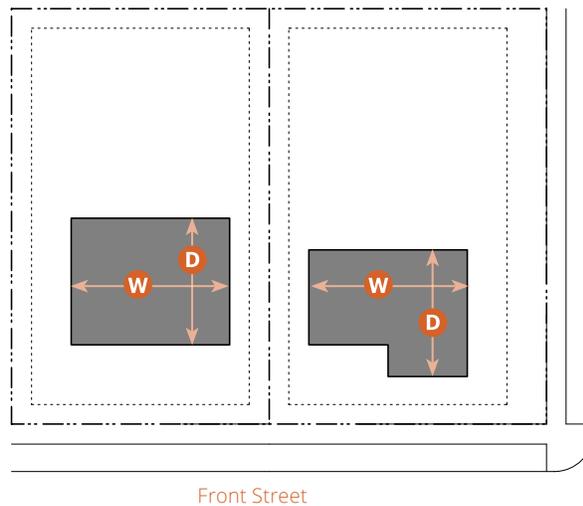
- (4) **Sloping Lot Height.** Lots with slopes of ten percent or more shall measure the maximum height of structures as set forth in the zone and measured vertically from ground level at the front setback line, or if no setback is required, at the center of the lot.
- C. **Average Slope.** The result of dividing the length of a slope by the difference in elevation at the top and bottom of the slope.
  - (1) **Lots with Even Slope.** Average slope for lots with relatively even slope across the site and small lots is determined by using the following formula:
    - (a)  $S = ((T - B) \div \text{run}) \times 100$
    - (b)  $S = \text{average slope}$
    - (c)  $T = \text{elevation at top of slope}$
    - (d)  $B = \text{elevation at bottom of slope}$
    - (e)  $\text{Run} = \text{horizontal distance between the top and bottom elevations}$
  - (2) **Lots with Uneven Slope.** Average slope of lots with an uneven slope across the site before grading is determined by using the following formula:

- (a)  $S = (1.0029 \times I \times L) \div A$
- (b) S = average slope
- (c) I = contour interval in feet
- (d) L = summation of length of the contour lines in scale feet
- (e) A = area of the lot in acres

2. **Measuring Building Footprints**

A. **Methodology.** Measurement of width and depth.

- (1) **Main Body.** The width and depth of the main body shall be measured as follows:
  - (a) The width shall be parallel to the front.
  - (b) The depth shall be perpendicular to the front.

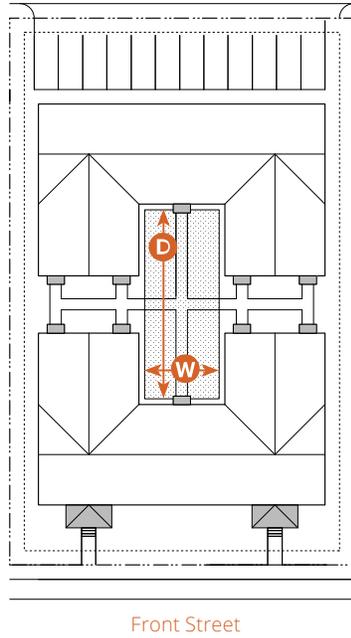


**Figure #F1.030.4:**  
**Main Body**

**W** Width

**D** Depth

- (2) **Courtyard(s).** The width and depth of courtyards shall be measured as follows:
- (a) The width shall be parallel to the front; unless the courtyard is a secondary courtyard accessed directly from a side street.
  - (b) If a secondary courtyard is accessed directly from the side street, the width shall be parallel to the side street.
  - (c) The depth shall be perpendicular to the width.



**Figure #F1.030.6:**  
**Courtyard(s)**

- W** Width
- D** Depth

### 3. Highest Eave/Top of Parapet.

- (a) **Height, Overall.** The vertical distance between adjacent finished grade and the highest part of the structure directly above. See [Figures 8 and 10](#).
  - (b) **Height, Top of Parapet.** The vertical distance between adjacent finished grade and the top of the parapet of the primary building. See [Figure 10](#).
  - (c) **Eave.** The edge of the roof that overhangs the face of the adjoining wall. The bottom of the eave can range from exposed rafters to a finished horizontal surface.
  - (d) **Height, Highest Eave.** The vertical distance between adjacent finished grade and the highest eave of the primary building. See [Figure 10](#).
  - (e) **Highest Eave Measurement.** The measurement is to bottom of the eave assembly type.
- A. **Methodology.** Using the definitions in this Chapter, lot types and lot lines are to be identified as depicted in Figure

Figure #F1.030.8: Top of Parapet and Flat Roof

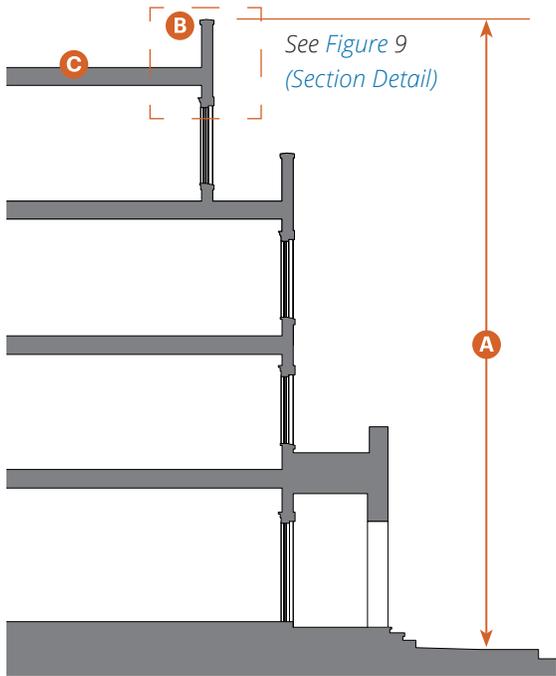
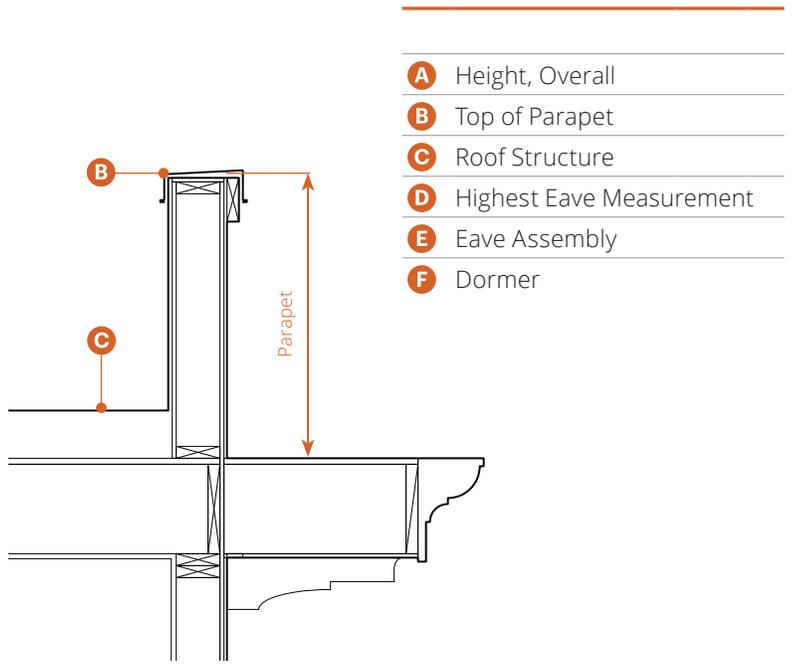


Figure #F1.030.9: Section Detail of Top of Parapet and Flat Roof



- A** Height, Overall
- B** Top of Parapet
- C** Roof Structure
- D** Highest Eave Measurement
- E** Eave Assembly
- F** Dormer

Figure #F1.030.10: Highest Eave for Pitched Roof

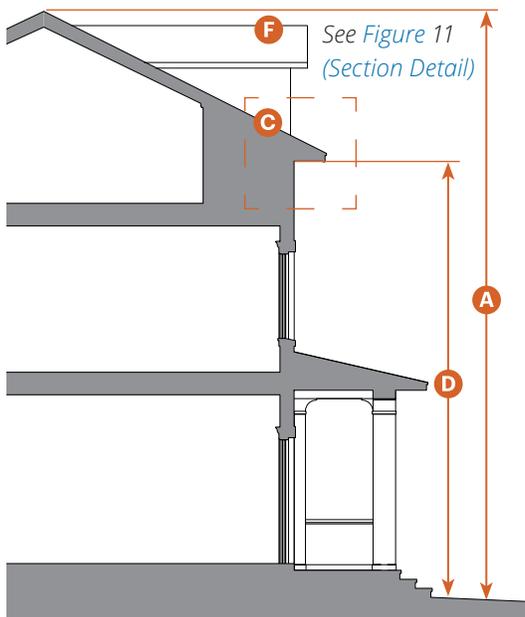
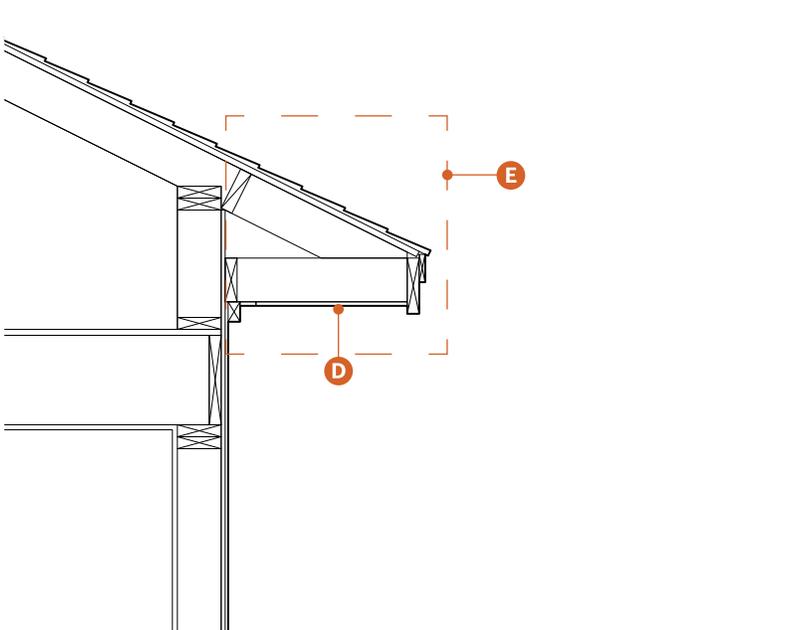


Figure #F1.030.11: Section Detail of Highest Eave for Pitched Roof



4. Lot type and lot Line Identification to apply Building and Parking Setbacks

A. **Methodology.** Using the definitions in this Chapter, lot types and lot lines are to be identified as depicted in Figure 12.

Figure #F1.030.12: Lot Type and Lot Line Identification

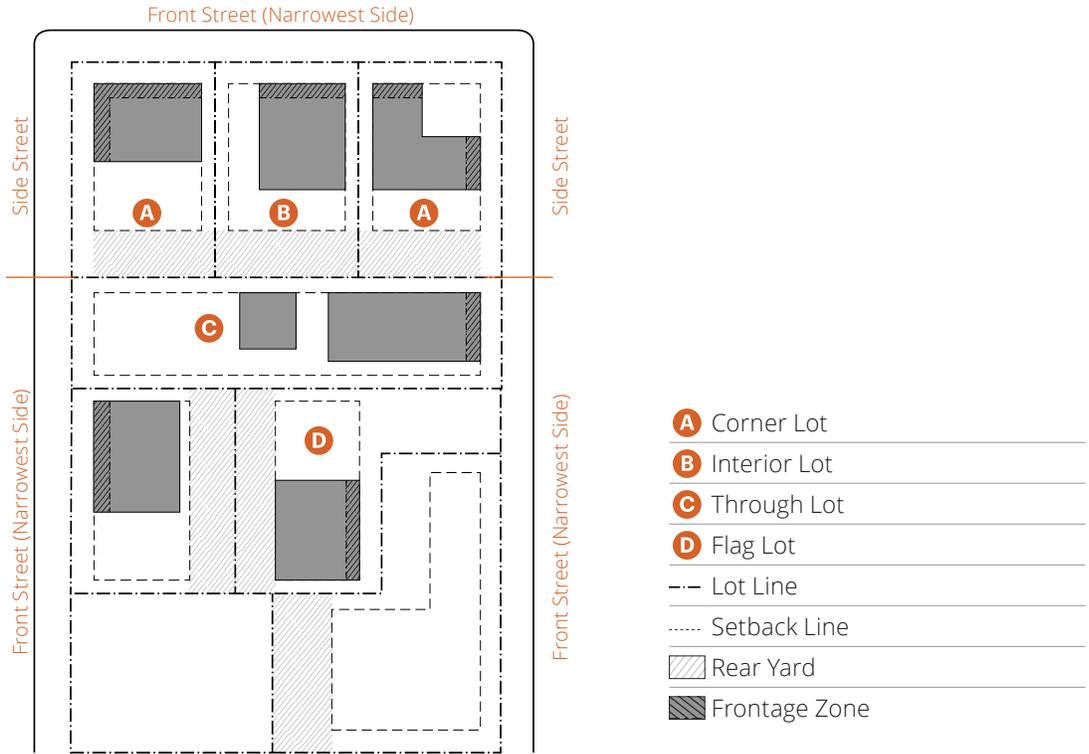


Figure #F1.030.13: Measuring an Irregular Lot Type

